

AGENDA FOR THE REGULAR MEETING OF  
THE MAYOR AND CITY COUNCIL OF THE  
CITY OF AUBURN, NEMAHA COUNTY,  
NEBRASKA, TO BE HELD AT 7:00 P.M.  
JULY 13, 2020

1. **PLEDGE OF ALLEGIANCE**
2. **ANNOUNCE** – “I am required by law to inform the public that a copy of the Open Meetings Act is posted on the North wall of these Chambers by the entrance door.”
3. **ROLL CALL**
4. **RECOGNITION OF VISITORS\***  
\*The Mayor may fix the time allotted for each individual or topic. A five-minute limit will apply for each speaker, unless otherwise specified. Speakers are expected to address the Council when making presentations. Speakers who feel a need to give more information, than can be presented in that time frame, may submit written material for distribution to City Hall; such materials should be provided so they may be included in the Council meeting packets.  
  
The Council may make and enforce reasonable rules and regulations regarding the conduct of persons attending its meetings and regarding their privilege to speak. The Council is not required to allow citizens to speak at each meeting, but may not forbid public participation at all meetings.
5. **APPROVAL OF MINUTES OF PREVIOUS MEETING(S).**
6. **APPROVAL OF FINANCIAL REPORT.**
7. **CLAIMS.**
8. **CONSIDERATION OF REQUEST** for Attendance at Meeting(s).
9. **CONSIDERATION BY COUNCIL FOR POSSIBLE APPROVAL BY RESOLUTION** to levy cost assessment against real estate at 1118 8<sup>th</sup> St., legally described as, Lot Eight (8) & West Half (W1/2) of Lot Nine (9), of Block Thirty (30) of Sheridan Addition, now Auburn, Nemaha County, Nebraska, for nuisance abatement. (owned by Keith Williams)  
**Resolution No. -20**
10. **CONSIDERATION BY COUNCIL ON REQUEST TO VACATE A PORTION OF 9TH ST.** A request has been made by property owners to vacate a portion of 9<sup>th</sup> St. between “P” & “Q” Streets. Planning Commission approved motion for “no-objection” to the request. The BPW does object to the request. The City Attorney does not support the request. *Attachments submitted* (request by Brian & Amber Kinnaman)  
**Ordinance No. -20** for Consideration for approval and passage by City Council.
11. **CONSIDERATION OF REQUEST NOT TO PROCEED WITH REMOVAL OF NUISANCE PROPERTY** – requested by real estate owner of 1622 “L” St. *Letter submitted* (presented by Connie Bridgewater)
12. **CONSIDERATION & REQUEST FOR ACTION** by the City Council to do away with the adoption of the “Sanctuary City for Life” statement by the City as the statement has had a negative economic impact upon business owners & community members, it does not serve a city purpose or function, and it

creates an unnecessary divide among community members/residents. *Attachments included* (presented by Nikki Hayes)

13. **7:05 P.M., or soon thereafter as possible, PUBLIC HEARING** on request for change of zoning on *The West 40 ft of Lots 2, 3, & 4, BLK 32, in the original town of Calvert, now Auburn, Nemaha County, Nebraska.* The real estate is currently zoned R-2, Medium Density Residential District pursuant to City Code Section 152.033. The real estate Owner has made written petition to rezone the real estate to C-R Commercial/Residential District pursuant to City Code Section 152.037. The real estate address is 2613 “N” Street. Recommendation for approval was made by the City Planning Commission after public hearing. Property Owner Don Law has requested to be heard by City Council regarding this request and alley access to and from his property.  
**Ordinance No. -20** for Consideration for approval and passage by City Council.
14. **7:15 P.M., or soon thereafter as possible, PUBLIC HEARING**, to provide an opportunity for public comment concerning an existing Community Development Block Grant (CDBG #18-HO-36067 Owner Occupied Rehabilitation) project awarded to the City.
15. **7:20 P.M., or soon thereafter as possible, PUBLIC HEARING**, to provide an opportunity for public comment concerning an existing Community Development Block Grant (CDBG #14-DTR-107 Downtown Revitalization) project awarded to the City.
16. **SEND** request for Council action for release of funds for Auburn Housing Authority Capital Funds Program 2019-2023 and consideration of payment of invoice.
17. **CONSIDERATION WITH POSSIBLE ACTION** by the City Council on status update and review of progress on nuisance abatement agreement and residential rehabilitation grant fund request. (Notice sent L. Haynes on July 3, 2020)
18. **DISCUSSION/POSSIBLE ACTION BY ORDINANCE** – Consideration of Council of proposed bids for the purchase and maintenance of City owned nuisance abatement surplus real estate located at 2500 P Street.  
**Ordinance No. -20** for Consideration for approval and passage by City Council.
19. **HOUSING PROGRAM GRANT FOR NEW HOUSING** (local funds) – Request for \$10,000 grant by Gregory Hepner & Tricia Reid for construction of a new house proposed for 2500 P Street.
20. **HOUSING PROGRAM GRANT FOR NEW HOUSING** (local funds) – Request for \$10,000 grant by Brandon & Leah Wehenkel for construction of a new housing proposed on Lot 38, Glenrock Add.
21. **ORDINANCE (2<sup>nd</sup> Reading)** – Consideration of sign posting at Rec Complex for no swimming or trespassing at the creek area north and east of the Rec Complex.
22. **CONSIDERATION FOR ACCEPTANCE & COST OF RELOCATING** – Playground equipment (gray/tan from Calvert Elementary School) to Irvin Park.
23. **SEND** Request for FY2021 Membership.
24. **SEND** Request for FY2021 Housing Dues.

25. **APPOINTMENT(S)/REAPPOINTMENT(S) –**
  - Library Board
  - Planning Commission.
  
26. **REPORTS/RECOMMENDATIONS - - From Dept. Heads.**
  - a. Street Department
  - b. Fire Department
  - c. Library
  - d. Treasurer
  - e. Airport Report
  
27. **REPORTS/RECOMMENDATIONS - - From Committees.**
  - a. Street Committee
  - b. Keep Auburn Beautiful
  - c. Economic Development
  - d. Safety Committee
  - e. Building Committee
  - f. Legislative
  - g. Parks and Pool Committee
  - h. Housing
  - i. Other Committees & Reports
  
28. **ADJOURNMENT.**

Auburn, Nebraska  
June 8, 2020

The Mayor and Council of the City of Auburn, Nemaha County, Nebraska, were called to meet at the City Hall at 1101 "J" Street on June 8, 2020, at 7:00 o'clock P.M., in Regular Meeting, open to the general public. Attendance at this Public Meeting was conducted through Zoom Virtual Meetings consistent with the Governor's Executive Order No. 20-03, signed on March 17, 2020 and the Governor's Executive Order No. 20-24 signed May 19, 2020. Advance notice of said Regular Meeting, the designated method of giving notice including the agenda for said meeting, or the availability thereof having been posted at the west front door of the City Hall, at the Auburn Post Office and Auburn Memorial Library, and having been transmitted to all members of the City Council, all done on or before June 5, 2020. Attendance at this Public Meeting was conducted through Zoom Virtual Meetings consistent with the Governor's Executive Order No. 20-03, signed on March 17, 2020 and the Governor's Executive Order No. 20-24 signed May 19, 2020. Mayor Dan White presided over the meeting. The City Clerk of the City of Auburn, Nemaha County, Nebraska, recorded the proceedings.

The meeting was called to order by Mayor Dan White. Upon roll call, the following members of the City Council were present: Billings, Shawn Clark, Tom Clark, Erickson, Janssen and Jeanneret. Absent: No one.

Mayor White announced the following: "I am required by law to inform the public that a copy of the Open Meetings Act is posted on the North wall of the City Council Chambers by the entrance door and also posted on the City's website".

Summer interns working with the Historic Preservation Board, Auburn Development Council, BCom Solutions, and the Nemaha County Foundation were introduced. Lee Connor was present to answer questions on the upcoming July 4<sup>th</sup> Celebration and provided an update on how the event would address social distancing and other preventative health measures.

Council Member Tom Clark moved to dispense with the reading of the May 11, 2020 meeting's minutes and to approve the same as written. The foregoing motion was seconded by Council Member Jeanneret and upon roll call vote, the following Council Members voted "YEA": Shawn Clark, Tom Clark, Erickson, Janssen, Jeanneret, and Billings. The following voted "NAY": No one. Motion: Carried.

Council Member Erickson moved to approve the financial report; Seconded by Council Member Tom Clark and upon roll call vote, the following Council Members voted "YEA": Tom Clark, Erickson, Janssen, Jeanneret, Billings, and Shawn Clark. The following voted "NAY": No one. Motion: Carried.

The following May claims were presented before the Council for ratification: AFLAC, Wh-73.80; American Recycling & Sanitation, Se-145.00; BCom Solutions, LLC, Se-980.00; Black Hills Energy, Ut-272.54; Blue Cross Blue Shield, (May & June) Ins-11,495.88; Board of Public Works, Ut-6,143.47; Capital Business Systems, Se-Su-342.76; Linda Bantz, Se-400.00; Mark Harms, Ex-500.00; Mid-American Benefits Inc., Ins-61.50; MIT Contracting, Federal Housing Program-33,570.00; Nathan Leslie, Local Housing Program Reim-369.90; Nemaha County, Se-29,000.00; Nemaha County Treasurer, Taxes-1,068.25; NJC Contracting, Federal Housing Program-20,015.60; Olmos Construction, Federal Housing Program-28,450.00; Reditech, Se-235.90; Region V-SENDS, Se-150.00; Southeast NE Development District (Federal Housing Program) Admin-10,866.81; The Standard, Ins-386.03; Time Warner Cable, Se-741.97; Verizon Wireless, Se-207.80; Windstream, Ut-16.22; Wex Bank, Su-984.31. The following claims (not previously approved by motion or resolution) were presented: Airstream Heating & Cooling, Se-446.17; AKRS, Parts-Su-127.92; Amazon, Bk-AV-305.05; American Lawncare Inc., Se-1,200.00; Angelo Ligouri, Se-7,863.50; Auburn Newspapers, Se-425.22; Auburn Plumbing, Htg & AC Inc., Su-17.34; Bailey Mazulla, Reim-40.00; Baker & Taylor, Bk-869.39; Blackstone Publishing, Bk-AV-65.89; Bulldog Auto Supply Inc., Su-411.45; Concrete Industries Inc., Su-2,860.78; Dawn Weiss, Reim-72.91; Demco, Su-385.97; Diamond Vogel, Su-1,255.36; Eakes Office Solutions, Su-1,388.43; Ed Loubey, Reim-40.00; First National Bank Omaha, Card Transactions-10,894.66; Frontier Cooperative, Su-105.00; Home State Appraisal Services, Se-350.00; Janny Crotty, Reim-73.26; Kim Beger, Reim-76.36; Kim Konkler, Reim-80.00; Lincoln Journal Star, Sub-745.99;

Lynch's Hardware & Gifts, Su-45.95; Martin Marietta Materials, Su-1,530.00; Martin's Flag Company, Su-307.98; Menards, Su-819.72; Meyer Laboratory Inc., Su-38.25; Mid-American General Contracting, Se-675.00; Nathan Wright, Se-528.90; Nemaha County Clerk, Fe-20.00; Overdrive Inc., Bk-AV-341.96; Petty Cash, Se-Su-Reim-56.56; Ricoh USA Inc., Su-17.24; Sack Lumber Co., Su-388.93; Shane Charbonnet, Reim-77.40; Steve Boden, Reim-60.00; The Lumberjack Co., Se-6,500.00; USPS, Su-110.00; Yolanda Kerr, Se-500.00.

Abbreviations for this legal: AV-Audio Visual; Bk-Book; Contrib-Contribution; CRA-Community Redevelopment Authority; DTR-Downtown Revitalization; Equip-Equipment; Ex-Expense; Fe-Fee; Ins-Insurance; Inspect-Inspection; Int-Interest; Inv-Economic Development Investment; Lic-Licenses; Maint-Maintenance; Mem-Membership; Pen-Pension; Per-Periodical; Re-Repairs; Ref-Reference Materials; Reg-Registration; Reim-Reimbursement; Se-Service; Su-Supplies, Material & Parts; Sub-Subscription; TIF-Tax Increment Financing; UA-Uniform Allowance; Ut-Utilities; Wh-Withholding.

Council Member Billings moved to approve the claims which have not been previously approved by motion or resolution and ratify the ordinary and necessary expenses allowed and in accordance with Resolution No. 7-11 that was approved February 28, 2011. The foregoing motion was seconded by Council Member Erickson and upon roll call vote, the following Council Members voted "YEA": Erickson, Janssen, Jeanneret, Billings, Shawn Clark, and Tom Clark. The following voted "NAY": No one. Motion: Carried.

The City Clerk/Treasurer requested approval to participate in the additional webinars to be presented by the League of Nebraska Municipalities associated with the Accounting and Finance Conference. Council Member Janssen moved to approve the additional League of Nebraska Municipalities Accounting and Finance Conference webinar sessions not previously approved at the May 11<sup>th</sup> meeting. The foregoing motion was seconded by Council Member Billings and upon roll call vote, the following Council Members voted "YEA": Janssen, Jeanneret, Billings, Shawn Clark, Tom Clark, and Erickson. The following voted "NAY": No one. Motion: Carried.

A request submitted by Bryan and Amber Kinnaman for a \$10,000 local housing grant for new construction on their property located at 1604 9<sup>th</sup> Street was presented. Council Member Janssen moved to approve the request submitted by Bryan and Amber Kinnaman for construction on their property located at 1604 9<sup>th</sup> Street; Seconded by Council Member Tom Clark and upon roll call vote, the following Council Members voted "YEA": Jeanneret, Billings, Shawn Clark, Tom Clark, Erickson, and Janssen. The following voted "NAY": No one. Motion: Carried.

Council Member Billings moved to approve a local housing program rehabilitation grant request submitted by Ruth Riley-Lutes and Randall Lutes that allows up to \$10,000 or 30% of the actual eligible cost, whichever amount is less which includes the quotes submitted by Tom Combs Electric, Auburn Plumbing & Heating, Classic Hard Surface Floors, LLC and A+ Painting & Home Repair based on the project costs submitted (totaling \$18,050) with a maximum of \$5,415.00 (30% of the total costs) being approved for reimbursement under the program. The foregoing motion was seconded by Council Member Janssen and upon roll call vote, the following Council Members voted "YEA": Billings, Shawn Clark, Tom Clark, Erickson, Janssen, and Jeanneret. Motion: Carried.

Council Member Janssen moved to approve a local housing program rehabilitation grant to Felicia and Tony Shefferd that allows up to \$10,000 or 30% of the actual eligible costs, whichever amount is less which includes the quote submitted by Jeff Brown Roofing, LLC. The foregoing motion was seconded by council Member Tom Clark and upon roll call vote, the following Council Members voted "YEA": Shawn Clark, Tom Clark, Erickson, Janssen, Jeanneret, and Billings. The following voted "NAY": No one. Motion: Carried.

Council Member Janssen moved to approve the use of Community Development Block Grant Reuse funding as recommended by the Revitalization Review Committee by the passage and

adoption of Resolution No. 12-20. The foregoing motion was seconded by Council Member Erickson and upon roll call vote, the following Council Members voted "YEA": Tom Clark, Erickson, Janssen, Jeanneret, Billings, and Shawn Clark. The following voted "NAY": No one. Motion: Carried. A true and correct copy of said resolution is as follows:

RESOLUTION NO. 12-20

TO APPROVE USE OF COMMUNITY DEVELOPMENT BLOCK GRANT COMMERCIAL REUSE FUNDING AS SUGGESTED BY THE REVITALIZATION REVIEW COMMITTEE

SUGGESTED ACTIONS OF REVITALIZATION REVIEW COMMITTEE:

Project #	Address	Total Request	Match	Match %	ReUse	ReUse %	Grant	Grant %	Loan	Loan %	Repayment
RU 3	1206 J Street	\$80,199.00	\$20,049.75	0.25	\$60,149.25	0.75	\$45,111.94	0.75	\$15,037.31	0.25	10 years 0%
RU 4	1005 Central	\$11,768.00	\$ 2,942.00	0.25	\$ 8,826.00	0.75	\$ 6,619.50	0.75	\$ 2,206.50	0.25	10 years 0%

WHEREAS, the City of Auburn, Nebraska has received a previous Community Development Block Grant for commercial rehabilitation and,

WHEREAS, CDBG reuse funds for commercial rehabilitation are to be used for making grants and loans to private businesses and property owners in accordance with the City's CDBG Downtown Revitalization Reuse Plan, program, and governing regulations, and,

WHEREAS, the City has previously adopted an amended Downtown Revitalization Reuse Plan meeting the requirements of the Community Development Block Grant program and,

WHEREAS, the City of Auburn CDBG Revitalization Review Committee, has recommended commercial rehabilitation applications presented by these area property owners as spelled out in the Memorandum of Understanding (MOU) to finance construction for commercial rehab, and

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Auburn, Nebraska hereby approves a total granted amount of \$51,731.44 and total loaned amount of \$ 17,243.81 to the applicant subject to the City's CDBG Downtown Revitalization Reuse Plan, program guidelines and regulatory provisions governing the Downtown Revitalization Reuse Plan and subject to the specific MOU's signed regarding each applicant.

NOW, THEREFORE, BE IT RESOLVED BY the City Council of the City of Auburn, that the Mayor is hereby authorized and directed to execute all necessary and appropriate documents on behalf of the City of Auburn to effect acceptance of the suggested grant and loan amounts, contingent upon approval of the property owners and City Attorney as to form.

Council Member Erickson moved to ratify CDBG #18-HO-36067 Drawdown #5 and the related claims; Seconded by Council Member Janssen and upon roll call vote, the following Council Members voted "YEA": Erickson, Janssen, Jeanneret, Billings, Shawn Clark, and Tom Clark. The following voted "NAY": No one. Motion: Carried.

Council Member Janssen moved to approve issuance of Special Designated Liquor License applications for Ruth Heywood at Gallery 75 located at 1122 J Street to be held on July 4, July 16 and July 30, 2020 as requested. The foregoing motion was seconded by Council Member Jeanneret and upon roll call vote, the following Council Members voted "YEA": Janssen, Jeanneret, Billings, Shawn Clark, Tom Clark, and Erickson. The following voted "NAY": No one. Motion: Carried.

No action was taken for charging of a fee for dumping at the RV Sanitation Station located at the RV Park.

Consideration of posting a sign at the Rec Complex for no swimming or trespassing at the creek area north and east of the Rec Complex was discussed. Proposed Ordinance No. 2-20 was presented for consideration. The Mayor announced that the introduction of the proposed Ordinance was in order.

ORDINANCE NO. 2-20  
No Swimming or Trespassing  
at Creek North and East of Rec Complex  
1<sup>st</sup> Reading was Approved

Ordinance No. 2-20 will be considered for further action at the next city council meeting.

Council Member Erickson moved that these proceedings be kept in a separate and distinct volume known as the "Ordinance Record of the City of Auburn, Nemaha County, Nebraska", and that said volume be made part of these proceedings the same as though it were spread at large herein, which motion was seconded by Council Member Shawn Clark. Upon roll call vote, the following Council Members voted "YEA": Jeanneret, Billings, Shawn Clark, Tom Clark, Erickson, and Janssen. The following voted "NAY": No one. Motion: Carried.

Council Member Billings moved that the City accepted the demolition bid on nuisance property located at 1622 "L" Street by the passage and adoption of Resolution No. 14-20. The foregoing motion was seconded by Council Member Janssen and upon roll call vote, the following Council Members voted "YEA": Shawn Clark, Tom Clark, Erickson, Janssen, and Billings. The following voted "NAY": Jeanneret. Motion; Carried. A true and correct copy of said resolution is as follows:

RESOLUTION NO. 14-20  
Of  
THE CITY OF AUBURN, NEMAHA COUNTY, NEBRASKA

A RESOLUTION TO ACCEPT DEMOLITION BID ON NUISANCE PROPRERTY LOCATED AT 1622 'L' ST., AUBURN, NE.

**WHEREAS**, On July 27, 2019, property owner, Connie L. Bridgewater, was served written notice of nuisance property and demand for abatement, identifying City Code violations at her real estate at 1622 'L' St. No corrective action was taken by the Owner.

**WHEREAS**, On September 9, 2019, the City Council at public session declared 1622 'L' St., a public nuisance to the community in need of rehabilitation or removal for the health and welfare of the public. No corrective action was taken by the Owner after receipt of this notice.

**WHEREAS**, On September 12, 2019, further written notice was served upon the Owner by mail notifying Owner of the Resolution 28-19, and to contact the City Building Inspector to set up a rehabilitation agreement or at the very least, clear and clean-up the property, so that it is free of debris. The Owner did not respond.

**WHEREAS**, On October 31, 2019, the property Owner was served by Sheriff with a Complaint filed in the District Court for Nuisance Abatement, demanding removal of the nuisance condition on her real estate within the community. Again, the Owner did not respond.

**WHEREAS**, On January 8, 2020, the Nemaha County District Court Ordered and Directed that after 90 days from the date of Its said Order, the City of Auburn, NE, is permitted to clean-up and remove property and structures constituting the nuisance on the premises of and located at 1622 'L' St., Auburn, Nemaha County, Nebraska, and assess the costs thereof to the real estate and/or collect cost from the Owner. The Owner did not comply with the Court's Order.

**WHEREAS**, In March & April 2020, the property Owner did contact city representatives requesting additional time to "paint". The Owner was informed it was up to her on painting but that the structure was being requested to be demolished by the City. The property has since been

posted for sale by the Owner. Rubbish and debris have been removed from around the exterior of the structure, but additional corrective action is necessary to abate the nuisance condition of the real estate, including removal of remaining debris around the structure, removal of tree extending out from the west foundation of the structure, additional painting, and maintenance and repair of the interior, including foundation and the bowing/buckling of load bearing walls.

**WHEREAS**, The City Building Inspector, conducted an in-person inspection of the interior/exterior of the structure in April/May 2020. The City Building Inspector reported that the interior of the structure is a "shell", further improvements are necessary for use of the structure. The foundation and exterior walls are dilapidated and require to be reinforced before use. The Structure has been abandoned and unmaintained for several years; the Owner has no intended use for the structure currently; there does not appear to be a valid use for the structure in its zoned district of R-2 Residential.

**NOW, THEREFORE BE IT RESOLVED**, by the Mayor and City Council, of the City of Auburn, Nebraska, that:

1. The City of Auburn, NE, hereby authorizes complete removal of the nuisance condition at the 1622 'L' St., Auburn, NE, for the total cost of \$10,000.00, to be assessed to the real estate and/or collected from the property Owner.
2. Acceptance by Contractor of this Agreement shall include the complete demolition, the demolished structure to be burned by the City of Auburn, NE, Volunteer Fire Department, removal, haul away and dumping fees of all debris from the nuisance structures, contractors bid shall include inspections, removal of worthless vegetation, agreed upon tree removal, backfile, and reseeded at the identified real estate.
3. The Mayor is authorized to sign any necessary documents, accept bid(s), or take further action on behalf of the City of Auburn, NE, in carrying out the provisions of this Resolution.

Council Member Billings moved for the transfer of nuisance property located at 1300 7<sup>th</sup> Street to the City of Auburn by the passage and adoption of Resolution No. 15-20. The foregoing motion was seconded by Council Member Tom Clark and upon roll call vote, the following Council Members voted "YEA": Tom Clark, Erickson, Janssen, Jeanneret, Billings, and Shawn Clark. The following voted "NAY": No one. Motion: Carried. A true and correct copy of said resolution is as follows:

RESOLUTION NO. 15 -20

Of

CITY OF AUBURN, NEMAHA COUNTY, NEBRASKA

A RESOLUTION FOR THE TRANSFER OF NUISANCE PROPERTY TO THE CITY OF AUBURN, NEBRASKA FOR NUISANCE ABATEMENT.

**WHEREAS**, pursuant to Resolution No. 8-18 on April 9, 2018, the City accepted the transfer of the below described real estate as a public nuisance to the City of Auburn, NE, in need of repair or structure removal:

1300 7<sup>th</sup> St., Auburn, NE;  
Parcel I.D. # 640011675;  
Lot Twelve (12), Block Thirty-nine  
(39), Sheridan Addition, Auburn, Nemaha  
County, Nebraska.

**WHEREAS**, Pursuant to City Council consideration and unanimous approval at Public Meeting, on Monday, July 9, 2018, upon the motion requested by proposed Grantee, Nick L. Bantz, dated July 2, 2018, and the recommendation of the Keep Auburn Beautiful Committee, the

property was transferred to Grantee, Nick L. Bantz, with the contingency that he would build a new residential living space on the property and abide by the terms of transfer as outlined within the Real Estate Transfer Agreement of City Owned Property filed within the Nemaha County Clerk's Office September 11, 2018 and recorded in Book No. 63 of Miscellaneous at pages 583-584.

**WHEREAS**, the terms of the Real Estate Transfer Agreement of City Owned Property require: "the Grantee, Nick L. Bantz, will place new permanent housing/living quarters on the property within one (1) year of signing this agreement or return the property back to City of Auburn, NE, upon request by the City, to allow for improvement to the real estate, as determined best, by the City Council, for the betterment of the community."

**WHEREAS**, the Grantee, Nick L. Bantz, has failed to abide by the terms of said Real Estate Transfer Agreement of City Owned Property and has failed to build a new residential living space on the property after receiving an adequate amount of time to do so.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF AUBURN, NEMAHA COUNTY, NE, AS FOLLOWS:**

1. Grantee, Nick L. Bantz, has breached the terms of his contract with the City for nuisance abatement on the identified real estate:

Lot Twelve (12), Block Thirty-nine (39), Sheridan Addition, Auburn,  
Nemaha County, Nebraska.

2. Grantee, Nick L. Bantz, shall return the real estate to the City of Auburn, Nebraska, pursuant to the terms of his contract, due to his breach for failure to add improvements to the real estate within 1 year.

3. The City shall accept the return of the real estate and place the real estate for sale by bid to the City, with a "For Sale" sign posted at the real estate and upon the City's website. All bids will be considered at the subsequent City Council meeting, pursuant to agenda deadlines for consideration.

4. The Mayor is authorized to sign all documents and take necessary action on behalf of the City in the enforcement of the terms of this Resolution.

The proposed bid by Scott Reid for the purchase and maintenance of City owned nuisance abatement real estate at 2500 P Street was not considered at this meeting.

For sale signs will be posted on the properties located at 2500 P Street and 1300 7<sup>th</sup> Street to notify interested parties that bids can be submitted to the City with bids to be considered at the July 13, 2020 City Council Meeting.

Discussion was held on the opening of the swimming pool with consideration of COVID-19 restrictions. For more information and to make reservations refer to the Auburn Swimming Pool Facebook Page.

Mayor White reappointed Bill Genthe to the Auburn Municipal Tree Board. Upon calling the roll, the following Council Members voted "YEA": Erickson, Janssen, Jeanneret, Billings, Shawn Clark, and Tom Clark. The following voted "NAY": No one. Reappointment: Confirmed.

Reports from department heads and council committees were provided. An agenda item will be included on the July City Council Meeting to consider acceptance of currently owned Auburn Public Schools playground equipment and the cost associated with having it professionally moved to Irvin Park. A written financial report was provided by the Auburn Community

Redevelopment Authority. A written report of law enforcement activity within the City of Auburn for May 2020 was also provided.

There being no further business to come before the Mayor and Council, Council Member Erickson moved for adjournment to meet at the call of the Mayor. Council Member Tom Clark seconded the foregoing motion and upon roll call vote, the following Council Members voted "YEA": Janssen, Jeanneret, Billings, Shawn Clark, Tom Clark, and Erickson. The following voted "NAY": No one. Motion: Carried.

Mayor White declared the meeting adjourned.

\_\_\_\_\_  
Dan White, Mayor

ATTEST:

\_\_\_\_\_  
Sherry Heskett, City Clerk

STATE OF NEBRASKA )  
COUNTY OF NEMAHA ) ss.  
CITY OF AUBURN )

I, the undersigned, City Clerk for the City of Auburn, Nebraska, hereby certify that the foregoing is a true and correct copy of proceedings had and done by the Mayor and Council on June 8, 2020; that all of the subjects included in the foregoing proceedings were contained in the agenda for the meeting, kept continually current and readily available for public inspection at the office of the City Clerk; that such agenda items were sufficiently descriptive to give the public reasonable notice of the matters to be considered at the meeting; that such subjects were contained in said agenda for at least twenty-four hours prior to said meeting; that at least one copy of all reproducible material discussed at the meeting was available at the meeting for examination and copying by members of the public; that the said minutes were in written form and available for public inspection within ten working days and prior to the next convened meeting of said body; that all news media requesting notification concerning meetings of said body were provided advance notification of the time and place of said meeting and the subjects to be discussed at said meeting; and that a current copy of the Nebraska Open Meetings Act is posted on the North wall of the City Council Chambers by the entrance door and also posted on the City's website.

\_\_\_\_\_  
Sherry Heskett, City Clerk

City Council Proceedings  
June 8, 2020

The Mayor and Council of the City of Auburn, Nemaha County, Nebraska, were called to meet at the City Hall at 1101 "J" Street on June 8, 2020, at 7:00 o'clock P.M., in Regular Meeting, open to the general public. Attendance at this Public Meeting was conducted through Zoom Virtual Meetings consistent with the Governor's Executive Order No. 20-03, signed on March 17, 2020 and the Governor's Executive Order No. 20-24 signed May 19, 2020.

The meeting was called to order by Mayor Dan White. Upon roll call, the following members of the City Council were present: Billings, Shawn Clark, Tom Clark, Erickson, Janssen and Jeanneret. Absent: No one.

Mayor White announced the following: "I am required by law to inform the public that a copy of the Open Meetings Act is posted on the North wall of the City Council Chambers by the entrance door and also posted on the City's website".

Summer interns working with the Historic Preservation Board, Auburn Development Council, BCom Solutions, and the Nemaha County Foundation were introduced. Lee Connor was present to answer questions on the upcoming July 4<sup>th</sup> Celebration and provided an update on how the event would address social distancing and other preventative health measures.

The City Council approved the May 11, 2020 meeting's minutes as written.

The City Council approved the financial report.

The following May claims were presented before the Council for ratification: AFLAC, Wh-73.80; American Recycling & Sanitation, Se-145.00; BCom Solutions, LLC, Se-980.00; Black Hills Energy, Ut-272.54; Blue Cross Blue Shield, (May & June) Ins-11,495.88; Board of Public Works, Ut-6,143.47; Capital Business Systems, Se-Su-342.76; Linda Bantz, Se-400.00; Mark Harms, Ex-500.00; Mid-American Benefits Inc., Ins-61.50; MIT Contracting, Federal Housing Program-33,570.00; Nathan Leslie, Local Housing Program Reim-369.90; Nemaha County, Se-29,000.00; Nemaha County Treasurer, Taxes-1,068.25; NJC Contracting, Federal Housing Program-20,015.60; Olmos Construction, Federal Housing Program-28,450.00; Reditech, Se-235.90; Region V-SENDS, Se-150.00; Southeast NE Development District (Federal Housing Program) Admin-10,866.81; The Standard, Ins-386.03; Time Warner Cable, Se-741.97; Verizon Wireless, Se-207.80; Windstream, Ut-16.22; Wex Bank, Su-984.31. The following claims (not previously approved by motion or resolution) were presented: Airstream Heating & Cooling, Se-446.17; AKRS, Parts-Su-127.92; Amazon, Bk-AV-305.05; American Lawncare Inc., Se-1,200.00; Angelo Ligouri, Se-7,863.50; Auburn Newspapers, Se-425.22; Auburn Plumbing, Htg & AC Inc., Su-17.34; Bailey Mazulla, Reim-40.00; Baker & Taylor, Bk-869.39; Blackstone Publishing, Bk-AV-65.89; Bulldog Auto Supply Inc., Su-411.45; Concrete Industries Inc., Su-2,860.78; Dawn Weiss, Reim-72.91; Demco, Su-385.97; Diamond Vogel, Su-1,255.36; Eakes Office Solutions, Su-1,388.43; Ed Loubey, Reim-40.00; First National Bank Omaha, Card Transactions-10,894.66; Frontier Cooperative, Su-105.00; Home State Appraisal Services, Se-350.00; Janny Crotty, Reim-73.26; Kim Beger, Reim-76.36; Kim Konkler, Reim-80.00; Lincoln Journal Star, Sub-745.99; Lynch's Hardware & Gifts, Su-45.95; Martin Marietta Materials, Su-1,530.00; Martin's Flag Company, Su-307.98; Menards, Su-819.72; Meyer Laboratory Inc., Su-38.25; Mid-American General Contracting, Se-675.00; Nathan Wright, Se-528.90; Nemaha County Clerk, Fe-20.00; Overdrive Inc., Bk-AV-341.96; Petty Cash, Se-Su-Reim-56.56; Ricoh USA Inc., Su-17.24; Sack Lumber Co., Su-388.93; Shane Charbonnet, Reim-77.40; Steve Boden, Reim-60.00; The Lumberjack Co., Se-6,500.00; USPS, Su-110.00; Yolanda Kerr, Se-500.00.

Abbreviations for this legal: AV-Audio Visual; Bk-Book; Contrib-Contribution; CRA-Community Redevelopment Authority; DTR-Downtown Revitalization; Equip-Equipment; Ex-Expense; Fe-Fee; Ins-Insurance; Inspect-Inspection; Int-Interest; Inv-Economic Development Investment; Lic-Licenses; Maint-Maintenance; Mem-Membership; Pen-Pension; Per-Periodical;

June 8, 2020

Page 2

Re-Repairs; Ref-Reference Materials; Reg-Registration; Reim-Reimbursement; Se-Service; Su-Supplies, Material & Parts; Sub-Subscription; TIF-Tax Increment Financing; UA-Uniform Allowance; Ut-Utilities; Wh-Withholding.

The City Council approved the claims which have not been previously approved by motion or resolution and ratified the ordinary and necessary expenses allowed and in accordance with Resolution No. 7-11 that was approved February 28, 2011.

Approval was given for the City Clerk/Treasurer to participate in the additional webinars to be presented by the League of Nebraska Municipalities associated with the Accounting and Finance Conference.

The request by Bryan and Amber Kinnaman for a \$10,000 local housing grant for new construction on their property located at 1604 9<sup>th</sup> Street was approved.

A local housing program rehabilitation grant request submitted by Ruth Riley-Lutes and Randall Lutes that allows up to \$10,000 or 30% of the actual eligible cost, whichever amount is less which includes the quotes submitted by Tom Combs Electric, Auburn Plumbing & Heating, Classic Hard Surface Floors, LLC and A+ Painting & Home Repair was approved.

A local housing program rehabilitation grant request submitted by Felicia and Tony Shefferd that allows up to \$10,000 or 30% of the actual eligible costs, whichever amount is less which includes the quote submitted by Jeff Brown Roofing, LLC was approved.

The City Council approved the use of Community Development Block Grant Reuse funding as recommended by the Revitalization Review Committee by the passage and adoption of Resolution No. 12-20.

CDBG #18-HO-36067 Drawdown #5 and the related claims were ratified.

The City Council approved issuance of Special Designated Liquor License applications for Ruth Heywood at Gallery 75 located at 1122 J Street to be held on July 4, July 16 and July 30, 2020 as requested.

No action was taken for charging of a fee for dumping at the RV Sanitation Station located at the RV Park.

The first reading of Ordinance No. 2020 for consideration of sign posting at the Rec Complex for no swimming or trespassing at the creek area north and east of the Rec Complex was approved. Ordinance No. 2-20 will be considered for further action at the next city council meeting.

With five Council Members (Shawn Clark, Tom Clark, Erickson, Janssen and Billings) voting in favor and one Council Member (Jeanneret) voting in opposition, the City Council accepted the demolition bid on nuisance property located at 1622 "L" Street by the passage and adoption of Resolution No. 14-20.

The transfer of nuisance property located at 1300 7<sup>th</sup> Street to the City of Auburn was approved by the passage and adoption of Resolution No. 15-20.

The proposed bid by Scott Reid for the purchase and maintenance of City owned nuisance abatement real estate at 2500 P Street was not considered at this meeting.

For sale signs will be posted on the properties located at 2500 P Street and 1300 7<sup>th</sup> Street to notify interested parties that bids can be submitted to the City with bids to be considered at the July 13, 2020 City Council Meeting.

Discussion was held on the opening of the swimming pool with consideration of COVID-19 restrictions. For more information and to make reservations refer to the Auburn Swimming Pool Facebook Page.

The City Council confirmed the reappointment of Bill Genthe to the Auburn Municipal Tree Board.

Reports from department heads and council committees were provided. An agenda item will be included on the July City Council Meeting to consider acceptance of currently owned Auburn Public Schools playground equipment and the cost associated with having it professionally moved to Irvin Park. A written financial report was provided by the Auburn Community Redevelopment Authority. A written report of law enforcement activity within the City of Auburn for May 2020 was also provided.

There being no further business to come before the Mayor and Council, the City Council adjourned.

Sherry Heskett  
City Clerk

R. Daniel White  
Mayor

A complete copy of the minutes is available for inspection at City Hall. The foregoing has not yet been approved by the City Council. The minutes of the June 8, 2020 City Council Meeting will be on the July 13, 2020 City Council agenda for consideration of approval.

**TREASURER'S REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

ACCOUNT TITLE	LAST REPORT ON HAND	RECEIVED	DISBURSED	BALANCE
GENERAL CHECKING	1,168,690.17	309,234.01	112,100.61	1,365,823.57
STREET CHECKING	434,746.67	30,691.17	22,563.04	442,874.80
STREET BOND/WARRANT CHECKING	15,838.47			15,838.47
<b>TOTAL CHECKING:</b>	<b>1,619,275.31</b>	<b>339,925.18</b>	<b>134,663.65</b>	<b>1,824,536.84</b>
TOTAL FIRE DEPT SINKING	50,120.71	24.99	.00	50,145.70
TOTAL KENO RESERVE MMA:	34,262.99	1.40	.00	34,264.39
TOTAL KENO CHECKING	40,158.21	3.06	6,000.00	34,161.27
TOTAL CDBG CHECKING	38,062.50	69,968.00	100,957.00	7,073.50
TOTAL CDBG DTR REUSE	140,656.93	1,562.53	.00	142,219.46
TOTAL CDBG HD SAVINGS:	1,226.51	610.56	.00	1,837.07
TOTAL CRA CHECKING	699,962.58	3,345.80	36,728.42	666,579.96
TOTAL CITY REC CHECKING	59,714.21	.00	.00	59,714.21
GENERAL CD	100,000.00			100,000.00
<b>TOTAL C.D. 'S:</b>	<b>100,000.00</b>	<b>.00</b>	<b>.00</b>	<b>100,000.00</b>
<b>TOTAL CASH ON HAND:</b>	<b>2,783,439.95</b>	<b>415,441.52</b>	<b>278,349.07</b>	<b>2,920,532.40</b>

**AGENDA ITEM NO**

6

## **AGENDA ITEM NO. 7**

**REPORT NOTATION:** Please remember that the “Reference” field of this report is not large enough to print a description of each invoice being paid to the Vendor. Examples include but are not limited to: Board of Public Works. For a full description, please contact me.

Sherry Heskett

**CLAIMS REPORT**  
 Check Range: 6/04/2020- 6/30/2020

**AGENDA ITEM**  
**NO**

7

VENDOR NAME	REFERENCE	
GENERAL FUND		
ADMIN		
AFLAC	AFLAC WH	73.80
AMERICAN RECYCLING SANITATION	GARBAGE SERVICE/RECYCLING	145.00
BCom Solutions, LLC	WEBSITE HOSTING/DIGITAL MARKET	980.00
AUBURN BPW	ELEC	331.17
CAPITAL BUSINESS SYSTEMS	COPIER LEASE/SUPPLIES	383.56
JANET KNIPE	LOCAL HOUSING REHAB GRANT	510.00
MID-AMERICAN BENEFITS INC	HEALTH INSURANCE	41.00
REDITECH	COMPUTER SERVICES	235.90
THE STANDARD	LIFE INSURANCE	86.86
TIME WARNER CABLE	PHONE ACCT	493.18
WINDSTREAM NEBRASKA INC	PHONE ACCT	16.22
	ADMIN TOTAL	3,296.69
POLICE DEPARTMENT		
NEMAHA COUNTY	LAW/CODE ENFORCEMENT	29,000.00
	POLICE DEPARTMENT TOTAL	29,000.00
FIRE DEPARTMENT		
BLACK HILLS ENERGY	GAS BILL ACCT	82.30
AUBURN BPW	ELEC	169.76
REGION V-SENDS	CLEANING SERVICE	50.00
THE STANDARD	LIFE INSURANCE	182.13
TIME WARNER CABLE	PHONE ACCT	114.35
WEX BANK	FUEL EXPENSE	13.28
	FIRE DEPARTMENT TOTAL	611.82
PARK DEPARTMENT		
AUBURN BPW	ELEC	1,744.22
ODEYS INC	PITCH PRO PORTABLE MOUNDS	2,304.90
WEX BANK	FUEL EXPENSE	381.52
	PARK DEPARTMENT TOTAL	4,430.64
SR. CENTER DEPARTMENT		
BLACK HILLS ENERGY	GAS BILL ACCT	33.46
AUBURN BPW	ELEC	353.29
REGION V-SENDS	CLEANING SERVICE	125.00
	SR. CENTER DEPARTMENT TOTAL	511.75
LIBRARY DEPARTMENT		
AUBURN BPW	ELEC	277.46
LINDA BANTZ	CUSTODIAL SERVICES	400.00
MID-AMERICAN BENEFITS INC	HEALTH INSURANCE	20.50
THE STANDARD	LIFE INSURANCE	29.59
WINDSTREAM NEBRASKA INC	PHONE ACCT	242.74

**CLAIMS REPORT**  
**Check Range: 6/04/2020- 6/30/2020**

VENDOR NAME	REFERENCE	VENDOR TOTAL
	LIBRARY DEPARTMENT TOTAL	970.29
POOL DEPARTMENT		
BLACK HILLS ENERGY	GAS BILL ACCT.	20.11
AUBURN BPW	ELEC	314.25
PETTY CASH	SWIMMING POOL	175.00
TIME WARNER CABLE	PHONE ACCT	126.97
	POOL DEPARTMENT TOTAL	636.33
	GENERAL FUND TOTAL	39,457.52
STREET FUND		
ADMIN		
BLACK HILLS ENERGY	GAS BILL ACCT	23.71
AUBURN BPW	ELEC	518.98
MARK HARMS	LAND USE	500.00
MID-AMERICAN BENEFITS INC	HEALTH INSURANCE	51.50
THE STANDARD	LIFE INSURANCE	86.92
TIME WARNER CABLE	PHONE ACCT	41.92
VERIZON WIRELESS	PHONE ACCT	52.10
WEX BANK	FUEL EXPENSE	518.11
		1,793.24
	STREET FUND TOTAL	1,793.24
KENO FUND		
KENO BETTERMENT		
AUBURN ARTS AND EVENTS	KENO COMM BETTERMENT PROJ 2020	6,000.00
	KENO BETTERMENT TOTAL	6,000.00
	KENO FUND TOTAL	6,000.00
CDBG GRANT FUND		
MIT CONTRACTING	CDBG 18-HO-36067	36,490.00
NJC CONTRACTING	CDBG 18-HO-36067	33,478.00
	ADMIN TOTAL	69,968.00
	CDBG GRANT FUND TOTAL	69,968.00
COMM REDEVELOP AUTHORITY		
CITY OF AUBURN	REIM WEST WATERLINE PROJECT	15,215.96

**CLAIMS REPORT**  
Check Range: 6/04/2020- 6/30/2020

VENDOR NAME	REFERENCE	VENDOR TOTAL
ORSHELN	TIF PAYMENT OF CO COLLECTIONS	21,512.46
	ADMIN TOTAL	36,728.42
	COMM REDEVELOP AUTHORITY TOTAL	36,728.42
	Accounts Payable Total	153,947.18

**CLAIMS REPORT**  
 Check Range: 7/01/2020- 7/07/2020

**AGENDA ITEM  
 NO**

7

VENDOR NAME	REFERENCE	
GENERAL FUND		
ADMIN		
AMERICAN RECYCLING SANITATION	GARBAGE SERVICE/RECYCLING	145.00
AUBURN DESIGN SHOP LLC	SIGNS	15.00
AUBURN NEWSPAPERS	PUBLISHING	108.99
BCom Solutions, LLC	WEBSITE HOSTING/DIGITAL MARKET	980.00
BLUE CROSS-BLUE SHIELD	HEALTH INSURANCE	3,079.51
AUBURN BPW	ELEC	469.90
BOCKMANN INC	ASBESTOS ABATEMENT	1,135.00
CAPITAL BUSINESS SYSTEMS	COPIER LEASE/SUPPLIES	495.64
EAKES OFFICE SOLUTIONS	SUPPLIES	78.14
FIRST NATIONAL BANK OMAHA	CARD TRANSACTIONS	183.80
JEO CONSULTING GROUP INC.	FIRE STATION PER	5,400.00
JOHN CLARK	PAINTING	100.00
LYNCH'S HARDWARE & GIFTS	SUPPLIES	7.93
NATHAN WRIGHT	HISTORIC PRESERVATION	864.30
NEMAHA COUNTY CLERK	FILING FEES	90.00
PETTY CASH	PETTY CASH	73.29
REDITECH	COMPUTER SERVICE	202.50
SACK LUMBER COMPANY	SUPPLIES	87.69
SCANTRON CORPORATION	COMPUTER SERVICE	9,753.10
TIME WARNER CABLE	PHONE ACCT	25.04
USPS	STAMPS	110.00
	ADMIN TOTAL	23,404.83
POLICE DEPARTMENT		
NEMAHA COUNTY	LAW/CODE ENFORCEMENT	29,000.00
	POLICE DEPARTMENT TOTAL	29,000.00
FIRE DEPARTMENT		
AUBURN BPW	ELEC	235.56
WEX BANK	FUEL EXPENSE	14.74
	FIRE DEPARTMENT TOTAL	250.30
PARK DEPARTMENT		
AKRS	PARTS/SUPPLIES	74.68
AUBURN PLUMBING,HTG & AC INC.	PLUMBING SERVICE	89.98
AUBURN BPW	ELEC	3,174.03
EGGERS BROTHERS INC	SUPPLIES	69.23
FIRST NATIONAL BANK OMAHA	SUPPLIES	97.96
FRONTIER COOPERATIVE	SUPPLIES	105.00
JOHN CLARK	PAINTING	850.00
LYNCH'S HARDWARE & GIFTS	SUPPLIES	149.41
MENARDS	SUPPLIES	115.96
MERZ INK	SIGNS	160.00
PETTY CASH	PETTY CASH	91.82
SACK LUMBER COMPANY	SUPPLIES	138.20
SHAE NEUMEISTER	REFUND RV PAD RENTAL	40.00
WEX BANK	FUEL EXPENSE	509.73
YOLANDA KERR	FLOWER/GARDENING SERVICES	500.00

# CLAIMS REPORT

Check Range: 7/01/2020- 7/07/2020

VENDOR NAME	REFERENCE	VENDOR TOTAL
	PARK DEPARTMENT TOTAL	6,166.00
SR. CENTER DEPARTMENT		
AUBURN BPW	ELEC	509.42
MEYER LABORATORY INC	SUPPLIES	132.50
	SR. CENTER DEPARTMENT TOTAL	641.92
LIBRARY DEPARTMENT		
AIRSTREAM HEATING AND COOLING	HVAC SERVICE	210.00
AMAZON	BOOKS/AVS	903.66
AMERICAN RECYCLING SANITATION	GARBAGE SERVICE/RECYCLING	39.66
BAKER & TAYLOR	BOOKS/AVS	665.71
BLACKSTONE PUBLISHING	BOOKS/AVS	538.23
BLUE CROSS-BLUE SHIELD	HEALTH INSURANCE	1,025.57
AUBURN BPW	ELEC	419.30
EAKES OFFICE SOLUTIONS	SUPPLIES	161.68
LINDA BANTZ	CUSTODIAL SERVICE	400.00
OVERDRIVE, INC.	BOOKS/AVS	207.99
RHODE ISLAND NOVELTY	SUPPLIES	337.00
RICOH USA, INC	EQUIPMENT COPIES	44.53
VERIZON WIRELESS	PHONE ACCT	80.02
	LIBRARY DEPARTMENT TOTAL	5,033.35
POOL DEPARTMENT		
AIRSTREAM HEATING AND COOLING	PLUMBING SERVICE	193.20
AMERICAN RED CROSS	TRAINING SERVICES	300.00
AQUA-CHEM, INC	SUPPLIES	2,067.90
AUBURN DESIGN SHOP LLC	SIGNS	10.00
BENNETT'S FIRE PROTECTION	SERVICE FIRE EXTINGUISHERS	25.50
AUBURN BPW	IRRIGATION WATER	2,592.78
BRENT LOTTMAN	CPR/AER/FA TRAINING	240.00
BULLDOG AUTO SUPPLY INC	SUPPLIES	51.96
FIRST NATIONAL BANK OMAHA	CARD TRANSACTIONS	31.96
KRISTAL JEANNERET	REFUND POOL PASS	140.00
LYNCH'S HARDWARE & GIFTS	SUPPLIES	33.10
MEADOW RIGHTSSELL	REIM TRAINING LIFEGUARD	80.00
PETTY CASH	PETTY CASH	233.44
REBEKAH NELSON	REIM TRAINING LIFEGUARD	80.00
RYAN BOHLING	REFUND POOL PASS	140.00
SACK LUMBER COMPANY	SUPPLIES	10.14
TIM BECKER	REIM TRAINING	200.00
	POOL DEPARTMENT TOTAL	6,429.98
	GENERAL FUND TOTAL	70,926.38
STREET FUND		
BEARD'S SALVAGE INC.	REBAR	55.80
BLUE CROSS-BLUE SHIELD	HEALTH INSURANCE	2,513.02

**CLAIMS REPORT**  
**Check Range: 7/01/2020- 7/07/2020**

VENDOR NAME	REFERENCE	VENDOR TOTAL
AUBURN BPW	ELEC	733.99
FILTER CARE	CLEAN FILTERS	50.80
FIRST NATIONAL BANK OMAHA	CARD TRANSACTIONS	38.46
LYNCH'S HARDWARE & GIFTS	SUPPLIES	5.99
MARK HARMS	LAND USE	500.00
MICHAEL TODD & CO. INC.	PARTS	602.12
NEBRASKA SALT & GRAIN CO	ICE CONTROL SUPPLIES	5,339.20
PETTY CASH	PETTY CASH	75.51
SACK LUMBER COMPANY	SUPPLIES	32.56
WEX BANK	FUEL EXPENSE	866.03
		----- 10,813.48
		----- 10,813.48
	STREET FUND TOTAL	
		----- 81,739.86
	Accounts Payable Total	

RESOLUTION NO. -20  
OF  
THE CITY OF AUBURN, NEMAHA COUNTY, NEBRASKA

A RESOLUTION FOR THE CITY OF AUBURN, NEBRASKA, FOR CONFIRMATION OF SPECIAL ASSESSMENT FOR NUISANCE REMOVAL; LIEN ON REAL ESTATE; PAYMENT AND COLLECTION OF SPECIAL ASSESSMENT.

**WHEREAS**, pursuant to Neb. Rev. Stat. §§§ 18-1720, 18-1722 and 77-209, as well as, the Nemaha County District Court Order filed January 08, 2020, the City Council has the authority to levy the cost as a special assessment against the lot or real estate upon which the nuisance structure was located and the special assessment shall be a lien on the following real estate, to wit:

Lot Eight (8) & West Half (W1/2) of Lot Nine (9), of Block Thirty (30) of Sheridan Addition, now Auburn, Nemaha County, Nebraska.  
Address: 1118 8<sup>th</sup> St., Auburn, NE.  
Parcel I.D. No. 640011446

**WHEREAS**, pursuant to City Code Sections § 150.03, the City may proceed with work noticed to the property owner and levy the cost of the work preformed as a special assessment against the lot or real estate upon which the building or structure was located;

**WHEREAS**, the following statement of cost has been transmitted to the City Council for the demolition and removal of the nuisance property, pursuant to Nebraska Law and the Nemaha County District Court Order dated January 08, 2020, against the real estate located at 1118 8<sup>th</sup> Street, Auburn, NE.:

- (1) Demolition of the nuisance structure,  
Complete haul away, dumping fees,  
dirt back-fill, and leveling of lot  
by The Lumber Jack Co.,  
Brad Maybee authorized agent \$ 6,500.00

**Total City Cost: \$ 6,500.00**

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF  
AUBURN, NEMAHA COUNTY, NE., AS FOLLOWS:**

1. The City Council approves and levies the amount of \$6,500.00 as a Special Assessment on the real estate herein identified as:

Lot Eight (8) & West Half (W1/2) of Lot Nine (9), of  
Block Thirty (30) of Sheridan Addition, now Auburn,  
Nemaha County, Nebraska.  
Address: 1118 8<sup>th</sup> St., Auburn, NE.  
Parcel I.D. No. 640011446

2. The City Clerk shall endorse the date of this meeting as the date of confirmation of the Special Assessment herein.

3. The Special Assessment shall be spread and become due and be collected at the same time as City taxes are assessed, levied, and collected, and shall be returned in the same manner for nonpayment.

4. The Special Assessment shall not bear interest if paid on or before the date it is due. If the Assessment against the real estate is not paid when due, then the assessment shall be considered delinquent and there shall be collected such interest and penalties as are due on delinquent City taxes.

5. All Special Assessments contained herein shall constitute a lien upon the respective real estate identified herein from the date of confirmation herein.

6. That the Special Assessments made herein are hereby ordered and directed to be collected, and the City Clerk shall deliver this assessment to the County Treasurer, whom shall collect the Special Assessments



AGENDA ITEM  
NO 10

Kinnaman  
1604 9th Street  
Auburn, NE  
(402)432-7697

July 6, 2020

Auburn City Council,

We are requesting platted 9th street running in front of our home at 1604 9th Street, formerly 820 P Street, be abandoned. We own the land on both sides of the unused, unpaved 9th street. The request is for the following reasons:

- The existing trees and shrubs were in place when we purchased the property.
- The larger lot is in keeping with the character of the area. The properties to the north on P street are acreage properties.

A former owner of the property had constructed pens and planted trees in the middle of the platted street, and the property owners at the west end of the platted street have constructed a fence through the street.

Our property has been sold twice since the pens were constructed, and to our knowledge the city has not asked that space to be cleared until August 1, 2019, when we requested the easement for the street be narrowed. Dave Hunter then requested we clear all trees and shrubs from the area, and the city would move the utility lines. Because of the request to clear the trees, we have elected to request the platted 9th street be abandoned.

The city sewer line runs to the south of the street, and overhead utility lines are also present in the area. The standard utility easements will need to be set. No structures will infringe upon these utility easements, as the house is being renovated on the south side with the same footprint as the original house.

This request was presented to the Planning and Zoning Committee on June 16, 2020. The planning and zoning committee had no objection to the vacating of the street. Minutes of the meeting are attached.

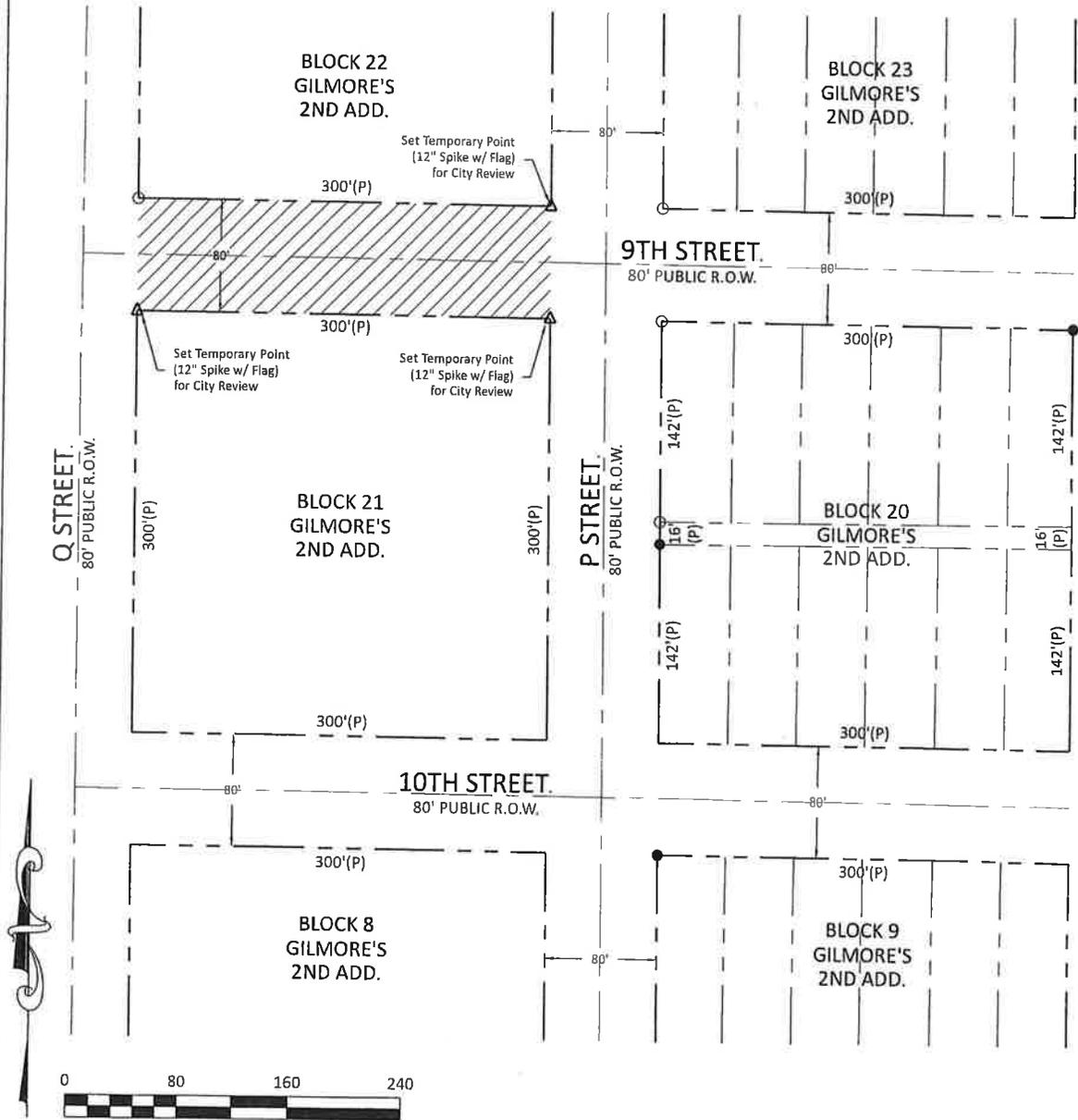
A survey of the property is attached.

Best Regards,

Bryan and Amber Kinnaman

# SURVEY EXHIBIT

9TH STREET BETWEEN BLOCK 22 AND BLOCK 21  
ALL IN GILMORE'S 2ND ADDITION  
CITY OF AUBURN, NEMAHA COUNTY, NEBRASKA



### LAND SURVEYORS CERTIFICATE

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE BY THE UNDERSIGNED, THAT THE SURVEY WAS DONE ON THE GROUND IN ACCORDANCE WITH THE MOST RECENT MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS, AS SET FORTH BY THE NEBRASKA STATE BOARD OF EXAMINERS FOR REGISTERED LAND SURVEYORS AND THAT THE ACCURACY SPECIFICATION AND POSITION TOLERANCE ARE IN ACCORDANCE WITH RURAL AREA SURVEYS.

DATE: \_\_\_\_\_  
THOMAS B. CATLETT

### LEGEND

- △ - SET SURVEY POINT AS INDICATED
- - FOUND SURVEY POINT AS INDICATED
- - CALCULATED SURVEY POINT
- CTP - CRIMPED TOP PIPE
- OTP - OPEN TOP PIPE
- M - MEASURED DISTANCE
- C - CALCULATED DISTANCE
- P - PLAT DISTANCE
- R - RECORDED DISTANCE
- BOUNDARY LINE

## CATLETT LAND SURVEYING

Thomas B. Catlett LS 502  
Bennet, Nebraska  
Cell: 402.217.5816 Fax: 402.782.9901  
tcatlett@catlettsurveying.com



Drawn By: PC  
Checked By: TC  
Crew: TC  
Date: 08/26/2019  
Job #: 2019-054  
Scale: 1" = 80'

MINUTES OF THE PLANNING AND ZONING (P&Z) COMMISSION OF THE CITY OF AUBURN, NE – 7:00 PM, June 16, 2020  
Conducted via Zoom Meeting

Chair Davis called the meeting to order at 7:00 p.m. and announced that the Open Meetings Act law was posted as required.

The roll was called. Members present: Dave Davis, Tony Johnson, Amber Kinnaman, Merri Johnson, Derek Hemmingsen, James Fogarty

Members absent: Doug Jones

Also present via Zoom: Angelo Ligouri, City Attorney; Jeff Jones, owner of property proposed for rezoning; and Don Law, owner of property adjacent to the property proposed for rezoning (see below).

Motion by Tony Johnson, seconded by Amber Kinnaman, to approve the minutes of the February 18, 2020, meeting. Roll call vote: Dave Davis, yes; Derek Hemmingsen, yes; Tony Johnson, yes; Amber Kinnaman, yes; Merri Johnson, yes; James Fogarty, yes. Motion carried.

**7:05 p.m. Chair Davis opened the Public Hearing to obtain comment on consideration of a proposed real estate lot rezoning request for 2613 'N' Street, Auburn, NE, legally described as the West 40 feet of Lots 2, 3 and 4, Block 32 in the original town of Calvert, now Auburn, Nemaha County, Nebraska. The above described real estate is currently zoned R-2 Medium Density Residential District pursuant to City Code Section 152.033. The real estate owner has made written petition to rezone the real estate to C-R Commercial/Residential District pursuant to City Code Section 152.037.**

Planning and Zoning Chair Dave Davis invited Jeff Jones, the owner of the above-described real estate, to explain the reasons for his request. Jones noted that the property was most recently used commercially as a church, and that it had been on the market for quite some time. He considered the cost of rehabbing it for residential use, but found that to be not viable. He felt the property could be re-purposed at some point for a small business. Additionally, the property is large enough for another small building and parking. Jones stated that the property abuts land currently zoned Commercial/Residential, Agriculture, and Residential Transition.

Don Law expressed concerns over the Commercial zoning designation potentially allowing undesirable activities in a neighborhood that is primarily residential now. He also stated that ample commercial real estate is available elsewhere in Auburn, and noted that the property in question is not accessible by paved street. He also had concerns about the alley between his property and the property proposed for rezoning.

Jones stated that he does not intend to make commercial use of the property himself. He plans to use it for personal purposes only, though not as a residence. Therefore, because the building itself is a commercial building (a church) in a residential zoning area, he felt the property should be rezoned to Commercial/Residential. (Churches, although technically "commercial," are allowed in Residential zoned areas.)

City Attorney Angelo Ligouri addressed Mr. Law's concerns about access, specifically, the alley between his property and the property proposed for rezoning. Jones stated that he had asked Dave Hunter with Auburn Board of Public Works about vacating the alley and Hunter has no objections because the City does not need the alley for utility purposes. Jones further stated that he is willing to work with Mr. Law on the access issues. The access issues are separate from the zoning considerations, and are therefore not relevant to the Planning and Zoning Commission's decision-making process on Jones' request.

There being no further comments or questions, Chair Davis closed the Public Hearing at 7:42 p.m.

**Motion by James Fogarty, seconded by Tony Johnson, to recommend to the Auburn City Council that the West 40 feet of Lots 2, 3 and 4, Block 32 in the original town of Calvert, now Auburn, Nemaha County, Nebraska, (a/k/a 2613 N Street, Auburn, NE), be rezoned from Residential to Commercial/Residential. Roll call: Derek Hemmingsen, yes; Tony Johnson, yes; Amber Kinnaman, yes; Merri Johnson, yes; James Fogarty, yes; Dave Davis, yes. Motion carried.**

**Consideration of Amber and Bryan Kinnaman's request to vacate a portion of Ninth Street west of 'P' Street.**

Amber Kinnaman explained that she and Bryan Kinnaman own Blocks 21 and 22 of Gilmore's Second Addition to the City of Auburn. These lots are bounded by P and Q Streets on the east and west, and are divided by 9<sup>th</sup> Street. This one-block stretch of Ninth Street, between P and Q Streets, is platted and has utilities buried in the right of way, but is not utilized as a street. Kinnamans would like this one-block stretch of Ninth Street to be vacated because this street right-of-way is landscaped as part of the Kinnamans' residential property in Block 22 noted above.

Kinnaman stated that she has been verbally notified by Dave Hunter, Manager of Auburn Board of Public Works, to remove the landscaping. She asked City Attorney Angelo Ligouri if she could be forced to remove the landscaping. He replied in the affirmative, however, he expressed the opinion that this would not likely be pursued until such time as Block 21 was developed.

Ligouri advised Kinnaman that vacating the street would not change the fact that the Board of Public Works would still need access to the buried utilities in the right-of-way. He also noted that she can take her request directly to the City Council without any action by the Planning and Zoning Commission, or she could simply drop the issue.

Chair Davis asked Kinnaman if she wanted to advance to City Council or table the issue for the time being. She indicated her desire to proceed on the matter now.

**Motion by Derek Hemmingsen, seconded by Tony Johnson, to inform the Auburn City Council that the Planning and Zoning Commission has no objection to Kinnaman's request to vacate one block of Ninth Street, between P and Q Streets, in Auburn. Roll call vote: Tony Johnson, yes; Amber Kinnaman, abstain; Merri Johnson, no; James Fogarty, yes; Dave Davis, yes; Derek Hemmingsen, yes. Motion carried.**

Chair Davis called for adjournment at 8:28 p.m. Motion by James Fogarty, seconded by Tony Johnson. Motion carried unanimously on ye or nay voice vote.

Merri Johnson, Recording Secretary

ORDINANCE NO. \_\_\_\_\_ - 20

OF THE CITY OF AUBURN, NEMAHA COUNTY, NEBRASKA

AN ORDINANCE VACATING A PORTION OF 9<sup>th</sup> STREET RUNNING EAST & WEST BETWEEN "P" & "Q" STREETS, LOCATED BETWEEN BLOCK 21 & 22, GILMORE SECOND ADDITION TO AUBURN, NEMAHA COUNTY, NEBRASKA; TO AUTHORIZE AMENDMENT OF THE OFFICIAL ZONING MAP OF THE CITY TO SHOW SAID CHANGE; TO PROVIDE FOR THE REPEAL OF CONFLICTING ORDINANCES OR SECTIONS THEREOF; AND TO PROVIDE FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF AUBURN, NEBRASKA;

SECTION 1. That west 9th Street between Blocks 21 & 22, running east and west between "P" St. & "Q" St., in Gilmore Second Addition to Auburn, Nemaha County, Nebraska, is hereby vacated, subject to the title of said portion of vacated 9th St. remaining with the City of Auburn, NE. pursuant to Neb. Rev. Stat. §17-558.

SECTION 2. The Governing Body hereby finds and determines that vacating the above identified portion of 9th St. is beneficial to the public good and in the best interests of the municipality and its residence.

SECTION 3. Pursuant to Neb. Rev. Stat. § 17-558(5), there is reserved to the City the right to maintain, operate, repair, and renew public utilities existing at the time title to the property is vacated; and, further reserved to the City, any public utilities, any cable television systems, telephone and or fiber optic provider, the right to maintain, repair, renew, and operate water mains, gas mains, pole lines, conduits, electrical transmission lines, sound and signal transmission lines, and other similar services and equipment and appurtenances, including lateral connections or branch lines, above, on, or below the surface of the ground that are existing as valid

easements at the time title to the property is vacated for purposes of serving the general public or the abutting properties and to enter upon the premises to accomplish such purposes at any and all reasonable times.

SECTION 4. That the City Clerk is hereby authorized to file a certified copy of this Ordinance with the County Clerk, ex-officio Register of Deeds, within 30 days after the effective date of this Ordinance to be indexed against all affected lots.

SECTION 5. That all Ordinances and Resolutions or parts thereof in conflict herewith be and the same are hereby repealed.

SECTION 6. That the official zoning map shall be changed/amended to show the portion of 9<sup>th</sup> St. as vacated as provided for herein.

SECTION 7. That this Ordinance shall be in full force and effect from and after its passage, approval, and publication according to law.

Passed and Approved this 13th day of July, 2020.

\_\_\_\_\_  
R. Daniel White, Mayor of the City  
of Auburn, Nebraska

ATTEST:

\_\_\_\_\_  
Sherry Heskett, Municipal Clerk  
of the City of Auburn, Nebraska

(Seal)



AGENDA ITEM  
NO 11

Jacob C. Garbison  
Reginald S. Kuhn  
Stephen D. Mossman ◊  
Jennifer A. Panko-Rahe Δ  
Sally A. Rasmussen Δ  
J. L. Spray Δ  
Christina L. Usher ◊  
Patricia L. Vannoy ◊  
Joseph A. Wilkins Δ  
Hon. Randall L. Rehmeier (Ret.), Of Counsel

July 6, 2020

◊ Also Admitted in Colorado  
Δ Also Admitted in Iowa

Offices in Lincoln, Nebraska City, and Syracuse

[www.mattsonricketts.com](http://www.mattsonricketts.com)

VIA Email, Fax, and U.S. Mail

Dan White, Auburn City Mayor  
Auburn City Council Members:  
Kat Billings  
Shawn Clark  
Tom Clark  
Chris Erickson  
Rick Janssen  
Jeff Jeanneret

c/o Sherry Heskett, City Clerk  
City of Auburn  
1101 J Street  
Auburn, NE 68305  
FAX: 402-274-4154  
[sherryh@auburn.ne.gov](mailto:sherryh@auburn.ne.gov)

To whom it may concern,

This letter and its attachment are sent on behalf of Ms. Connie Bridgewater in response to the letter she received dated June 13, 2020 (the "Letter") from the City of Auburn (the "City"). This letter is attached hereto as "**Exhibit A**".

In its Letter, the City, by and through its attorney Angelo Ligouri, informed Ms. Bridgewater that her building located on 1622 "L" Street in Auburn Nebraska (the "Building") will be removed by the City within 45 days. The Letter also stated that Ms. Bridgewater would be permitted to file a written objection to Auburn City Hall by July 6, 2020.

Ms. Bridgewater has attempted to comply with the City's requests for months but is as-of-yet uncertain as to the specific changes sought.

Ms. Bridgewater spoke with City Attorney Ligouri several times in early April 2020 to inquire as to what alterations the City wanted done to her building. Mr. Ligouri informed her that she could save the Building by scraping the old paint off, applying a new coat of paint, and a removing a number of unsightly logs from the premises. These tasks were completed in mid-

134 South 13th Street, Suite 1200  
Lincoln, Nebraska 68508

(402) 475-8433 Phone  
(402) 475-0105 Fax

April at the cost of approximately \$1,400.00. Sometime after Ms. Bridgewater received the City's Letter, counsel for Ms. Bridgewater reached out to City Building Inspector Jake Armknecht in an attempt to determine what repairs the city required. Mr. Armknecht was unwilling to provide any details to Ms. Bridgewater's counsel.

On July 2, 2020, Glen Hogue, former City building inspector with years of experience inspecting buildings in Auburn, conducted an inspection of the Building and its surrounding property. During this inspection, Mr. Hogue found the Building to be structurally sound with only minor repairs suggested for the exterior of the Building. Ms. Bridgewater is willing and able to complete these repairs by replacing and repainting a small portion of the Building's siding and improving the framework on the Building's rear door.

Ms. Bridgewater does not want her Building to be destroyed. She believes the Building is a historical structure with great import to the City's heritage. Additionally, Ms. Bridgewater lacks the funds to pay the \$10,000 bid currently on file from The Lumberjack Co. for the planned destruction of the Building. For these reasons, Ms. Bridgewater recently contacted Jackie Lunzmann of Lunzmann Realty, Inc. who agreed to help Ms. Bridgewater sell the property at 1622 "L" Street.

In closing, Ms. Bridgewater states that her Building safe, structurally sound, and requires only minor repairs to its exterior. Ms. Bridgewater is able and willing to complete repairs on her Building if she can only obtain some assurance from the City that such actions will be sufficient to prevent the planned total destruction of her Building. Additionally, given that her Building is structurally sound and the exterior has been scraped and painted, total destruction of the Building would be unnecessary and unwarranted to abate any nuisance alleged by the City.

Best Regards,



Jacob C. Garbison

JCG:baa  
Enclosure



June 13, 2020

Sent Via: First-Class Mail

Ms. Connie L. Bridgewater  
73240 638 Ave.  
Auburn, NE 68305

1101 J Street  
**City of Auburn**

Auburn, Nebraska  
68305

402-274-3420  
402-274-4154 fax  
www.auburn.ne.gov

**MAYOR**

Dan White

**COUNCIL MEMBERS**

Katy Billings

Shawn Clark

Tom Clark

Chris Erickson

Rick Janssen

Jeff Jeanneret

RE: Resolution No. 14-20, by City Council, regarding 1622 "L" Street,  
Auburn, NE., County Parcel No. 640035426

Dear Ms. Bridgewater:

On July 24, 2019, the City of Auburn, NE. notified you of your maintenance of a nuisance structure/property at 1622 "L" St. *(See copy attached)*

On September 12, 2019, the City sent you a copy of Resolution No. 28-19, a Resolution by the City declaring nuisance at your property and directed abatement. *(See copy attached)*

A Compliant for nuisance abatement was filed, served upon you, and you failed to respond, you did appear at the default hearing but did not contest the nuisance. The Court allowed you 90 days to abate the nuisance from the date of Its Order on January 8, 2020, which you failed or refused to comply with. *(See Order attached)*

You received further notice on April 14, 2020, that pursuant to your failure or refusal to comply with nuisance abatement the City was seeking bids for demolition and removal of the nuisance structure. *(See copy attached)*

At the June 8, 2020, Council Meeting, the Council accepted a bid to remove your nuisance structure, debris, and worthless vegetation from the real estate. *(See copy attached)*

The City had hoped that you as the owner would have resolved this nuisance matter on your own. The structure/property was reviewed by the City Building Inspector for compliance with the City's notice of nuisance and demand for code compliance filed July 24, 2019. No action has been taken by you to ensure the structural security or stability of the building. Structure repair and maintenance continues to be necessary at this time. The building inspector reported faulty and deteriorating siding and foundation that must be replaced and repaired per Code requirements. The exterior must be weather sealed and sealed from vermin. The building continues to deteriorate, its dilapidated, unsafe and uninhabitable. The City will have the structure removed within the next 45 days. You did contact the Mayor and object to our compliance action. You can file a written objection to City Hall by July 6, 2020, providing evidence of Code compliance with the requirements for nuisance abatement as outline in your Notice of Nuisance served on you July 27, 2019. Please provide verification that requirements have been met and evidence that your property is no longer a nuisance to the community of Auburn, NE. The City will review your objection at Council Session on Monday July 13, 2020 at 7:00 p.m., at Auburn City Hall.

Sincerely,

Angelo M. Figouri  
Attorney for the City of Auburn, NE



EQUAL HOUSING OPPORTUNITY

AML/kev  
Enclosures  
CC: Mayor; Blding Insp.; BPW; City Clk.



Dear Mayor White and Auburn City Council,

Enclosed you'll find letters from Auburn citizens, business owners and alumni who support the removal of the recently adopted non-binding statement. These letters prove that the statement has had negative economic consequences for Auburn and Nemaha County. Some letter writers needed to remain anonymous in order to protect their family and or business. Hundreds of people signed the "Remove Auburn's Statement" petition. On the last page, you will find some of the petition comments. This petition was circulated on Facebook in the weeks prior to the upcoming council meeting.

I hope you'll put aside any personal beliefs on this controversial topic and look at the facts being presented. Removing this statement does not mean you are no longer pro-life. It simply means you recognize the statement has had negative repercussions and as a representative of this community you strive to do what is best for everyone.

Sincerely,  
Nikki Hayes

## Letter #1

### Dear Mayor White and members of the Auburn City Council,

My name is Janny Crotty and I am a wife, a parent, and a committed community volunteer in Auburn. I join with the chorus of voices asking for you to remove the statement passed March 9, as it does not belong in city politics.

Religious liberty is a fundamental component of our society and the separation of church and state is what made the founding of America so revolutionary. The founders believed that the only way to stop the new nation from being torn apart by competing religious factions was to sever ties between church and state. It is mutually beneficial to keep them separate. The church doesn't want government meddling in it's business and churches do not pay taxes. Citizens are free to practice whatever religion we want, and the government should not take action of any kind that favors one over others. The statement passed on March 9, even though well-intentioned and in "non-binding" form, was religious in nature and therefore violates the principle of separation between church and state.

This isn't strictly about first amendment rights. It's about belonging and feeling welcome in a community. This statement is divisive. People think, feel, and believe differently. When city government favors one belief system over others, people can be made to feel disenfranchised....like they don't belong. The passing of this statement sent a message to many of us that the citizens most welcome here are those who adhere to a specific belief, rooted deeply in one particular form of religion. It is counterintuitive for attracting, welcoming and retaining all walks of life in our community.

The question "why is this necessary?" was never satisfactorily answered. "Why not" is not a sufficient answer to the question of "why." No one here is going out of their way to NOT support preborn children. There are no births happening here, let alone abortions. There are currently safe houses and programs in place for women in crisis. The statement does nothing to help women or children. Instead, it causes harmful division within the community and advances the religious agenda of one small group.

I respectfully request the statement be removed. We will continue advocating for all voices so all people have the opportunity to feel a sense of belonging in our City of Auburn.

Sincerely,  
Janny Crotty

## **Letter #2**

Auburn Mayor and City Council Members,

I have lived in Auburn for many years. It is where I have chosen to live, work and raise my family. I had planned in my estate to gift a significant amount of money (well into the six figures) to the City of Auburn to assure the building of a fine arts / performing arts center, as it is a project I believe would benefit not only Auburn Public Schools but the entire community. Due to our governing body's lack of respect for the separation of church and state, my dollars will go elsewhere.

## Letter #3

Auburn City Council,

I am a former resident of Auburn, having grown up in the town and graduated from AHS. I know all of the parties who proposed and voted for the statement in question. I was mentored by many of them. Recently, my family was considering moving to Auburn. By family, I mean my spouse and I, along with a soon-to-be-adopted child. I, myself, was planning on starting a business upon moving to Auburn. While COVID-19 has rendered it a moot point, our conversations about whether or not to move to Auburn centered around whether or not we will be welcomed in the town. My spouse and I are from the area. If this is how we feel, imagine how outsiders must feel.

The reason we feel this concern is because the town's statement was done with the intention of creating an atmosphere of exclusion. Fetuses have never been excluded from Auburn. They have not historically been discriminated against in this town. There is no such thing as a person who is bigoted toward fetuses. This statement was completely unnecessary for the purposes of protecting potential fetuses. The statement instead tells any prospective residents of Auburn "if you don't agree with us, religiously, politically or otherwise, we will make you feel uncomfortable." And for all that was said at the previous meeting by supporters of this statement about the need for young families and children to support our small town and its businesses, the adoption of this statement seems counterintuitive and counterproductive.

As a potential resident of Auburn, do I want to live in a place where my local government will take up a cause so rooted in division? Do I want to own a business in a place where prospective residents, visitors, *potential patrons of my business* might feel the same? Small towns need infusions of new citizens to stay alive, and many rural businesses need more than just their own residents to survive and thrive. Former mayor Bob Engles said as much when he was in office. So, instead of supporting this intentionally contentious approach, Auburn and its leaders (past and present) should be striving for a message of inclusivity.

I've lived in many places across the country, including several small towns. The places that are truly thriving are the ones that seek to unite, not to drive a wedge between folks. They are open-minded and willing to embrace people from all backgrounds and walks of life. I've seen towns dig out of massive economic depressions by welcoming young, innovative and creative minds that might think and do things a tad differently than how things had previously been done in those communities. This council's statement is an attempt to keep Auburn in its staid ways and smoke out a lot of those young innovators who might have different beliefs. I recognize that I will probably never agree on a lot of issues with the people I love in my hometown. I'm at peace with that. I just don't want to be made to feel like a pariah for those beliefs. Inaction on removing this statement will let me, as well other potential citizens, business owners and patrons of Auburn's commercial operations, know exactly where we stand. Essentially, it will lock the doors to the town for people like me. It will put Auburn in lane far different than the one traversed by those small, vibrant towns I spoke of that have been revived. It will put Auburn on a trajectory of slow and painful drain of its resources and economic viability.

Letter # 4

To Whom it May Concern,

My name is Rachel Curtiss and I am writing to voice my request for Auburn, Nebraska to remove its statement "declaring the pre-born as citizens with an inalienable right to life" also known as it's resolution to "Establish Auburn as a City for Life".

While I am currently a citizen of Omaha, I work in Brownville and am part of its arts community. My husband and I were married in Brownville and plan to be involved in the Nemaha County community for our entire lives. In making plans for our future, we have often discussed the idea of moving to Auburn as an option should we ever decide to start a family. This brings me back to the appalling decision voted affirmatively by the Auburn City Council. I would never move to a city which would adopt such a hateful stance against women's rights. I could write exclusively about how it was not the council's place to vote on such a "statement" since it cannot overturn Roe V. Wade, however whoever is reading this already knows that to be true if they know anything about the government.

I am constantly trying to bring business to Nemaha County (my hope is always to bring people from Omaha to spend the day in Brownville). I recommend restaurants and shops in Auburn for them to check out while they are in the area. However, this statement tainted that recommendation for me. I know it made me feel less safe within the city limits, in its raw form it feels like bullying. It feels like a reminder that I, as a woman who defends her right to choose, does not belong in this community. That to me was the only purpose of this statement, to punish those of us who do not belong to the "pro-life" movement. My husband shares my thoughts about this, and I know any of the young people I would recommend to bring business to Auburn would feel the same.

As it relates to young people and young families, in a Gallup poll from May 2019, 62% of United States Citizens 18-29 consider themselves pro-choice. If Auburn is hoping to draw in young families to move to its city, it should reconsider this alienating statement. At the very least, the council should consider the implications of not removing the statement. Since it is a pointless statement, doing virtually nothing positive for the city, think instead of how it negatively will affect the likelihood of young people relocating to the city. It has affected me, a 29-year-old tax paying citizen. How many others have read about the council's decision and have reconsidered their plans?

Thank you,

Rachel Curtiss

## **Letter #5**

To the Auburn mayor and city council,

As an Auburn high graduate with roots here, I've been looking off and on over the past few years at returning to my hometown to buy property and invest in local business. While there have been a number of factors that have kept me from making the decision to do so, once I read about the city passing this statement, I stopped looking in Auburn. This statement showed me that local government was interested in using public resources to further religious aims at the potential risk to further public resources, and that's just not an environment I am interested in investing in.

## Letter #6

Dear Mayor White and Council Members Jeanneret, Clark, Janssen, Erickson, Billings and Clark,

I am a local citizen, community volunteer, Auburn high school graduate, business owner and I have had an abortion. I've been very vocal, open and honest about the circumstances surrounding my decision. Because of my outspokenness, MANY local women have opened up to me about their own abortion stories. In some cases, I'm the ONLY person they've ever told. These are women you know, respect and are maybe even friends with. This statement rips off our scabs and digs in our wounds. It belittles us and the gut wrenching choices we've made. You hurt, deeply, your fellow citizens and community members with this statement. I ask that you not use your position as a public servant to further a religious agenda, adding insult to injury for those of us with lived experience.

Nikki Hayes

## Letter #7

Hello board,

I'm going to get right to the point of this letter. The statement you have for the town of Auburn is a problem for many people. Not only personally but for businesses.

On a personal level - I , as a mother and woman, have experienced a medically necessary abortion. The baby had to be removed. When I read the statement, it instantly caused anxiety and a deep sadness. The choice I made was medically necessary and the statement makes me feel uncomfortable to live Auburn as clearly my PERSONAL choice makes me less than in the eyes of this town. It casts a wide net and if I didn't just buy a home here, I would have chosen a different town. Abortion is a RELIGIOUS ISSUE AND PERSONAL CHOICE! It should not be used by city officials to make citizens feel less than or targeted or like they must hide who they are in order to be accepted by the people of the city. I am requesting that the statement be removed.

On a business front - I own a successful business that I was planning to bring to Auburn. I am absolutely not bringing my store front to this town with this statement hanging over it. I will choose a different town to open my store front in.

My husband is in the military and I am very interested in creating a veterans housing program here in Auburn. I have been working with a large grant program to fine tune an application and move forward with making that a reality! However my grant officer let me know that they will look at a town, its values, economic situation and biggest highlights in the area. I built my whole grant around the idea that small town Auburn would provide veterans with a slower paced life where they could feel safe and included. However, my grant officer said Auburn's statement makes it a religiously charged town and that could prevent me from receiving the grant. Government and religion are to be kept separate and when the council weighed in on a religious belief, they created a issue that I cannot defend.

Please understand that this is not only affecting people who live here but also it is affecting those of us trying to bring people here!!!! And businesses! The city should not be in support of one religious view. We are all of different religions and backgrounds. Please consider ALL your citizens..... remove the statement.

## **Letter #8**

Mayor White and Auburn City Council Members,

I grew up in Auburn and now live in Lincoln. I am a small business owner and my business partner lives in Auburn. I chose to work remotely from Lincoln because I do not feel welcome in the community of Auburn. This statement further confirms that my beliefs are not welcome and validates my decision to work remotely.

## **Letter #9**

Auburn City Council,

While I know that there are open minded people in Auburn, the adoption of the religious pro-life statement affirms that I am making the right decision to leave town. The City Council's decision violates the separation of church and state within the first amendment. If this statement is not removed, it sends a message that you clearly don't respect first amendment rights and I'm concerned about how future decisions will be made. If I wasn't leaving town, I would vote those who approved this statement out, as it does nothing but make Auburn appear bigoted.

Rachel Woods

## Letter #10

On March 9, 2020, this council voted to approve a statement that was proposed as part of the Pro-Life movement by members of the Catholic Church and the Knights of Columbus. The adoption of this statement was made with the assurance that it was non-binding and the city would have no responsibility. Now, Auburn and Nemaha County are suffering the negative consequences of that action. The adoption of this statement was a violation of the separation of church and state within the First Amendment to the Constitution of the United States. Personal opinions and religious beliefs have no place in the decision making for local government. Furthermore, I would venture to guess that the council members who voted for the passage of the statement did not consider the beliefs of the people in their ward when they made the decision. You are all elected to these positions to represent all members of your community and not the few who push to further their own agendas.

The adoption of this statement has exposed a divide in our community where people who believe in a woman's right to choose what is best for her own health, safety and well-being feel that their opinions and beliefs are not welcome. This is something that already existed within this community, but the adoption of the statement placed the city on one side of this extremely polarizing topic. As a family that has had to make a choice, I feel as though the city's adoption of the statement signals that my experiences, beliefs and work is not valued by those who hold positions of power in the City of Auburn. This statement has also caused some people who were thinking of moving to Auburn to reconsider, some who live here to seek another location to live, residents who were going to make donations to improve our city find another source for their money and even some grants for new businesses to be awarded to people in other communities. All of these examples are documented in the statements that have been provided to the council.

If our goal as a community is to grow and attract new, young families to this area, the statement sends the wrong message. Most younger people in this country have more progressive and open-minded beliefs. They are turned off by the adoption of these types of statements. Even young people with more conservative views tend to be more accepting of others with different beliefs and look for ways to live in harmony rather than being divisive. If we hope to attract more young people to this community and bring more of our graduates back to Nemaha County after they finish college, we need to be more progressive and attractive to them and their families. It will also attract more people to open businesses. We should be looking to adopt statements that show our inclusivity rather than one that is openly and overtly exclusionary.

The adoption of the statement did nothing, but hurt this community and the people in it. Sure, it was a win for a small group of people who have a singular focus, but overall, it was not a benefit to this community. The goal for the small group of ardent supporters was to bring more service to women in this community who are forced to have abortions (according to statements made by the proponents of this statement). First, women are not being forced to have abortions in this community. Women are not even giving birth in this community. The shelter for women in these situations run by the Catholic Church has never been used in the years it has been available because there is not a need for this service. We do have services available to women in this

community and they are offered by Project Response. They are the ones working with women, giving them all of their options and helping them through extremely difficult times.

Everyone in Auburn should feel welcome to practice the religion they want, believe what they want to believe and have robust discussions about our differences without having the city side with any one group. We need to look at ways to increase our diversity, our compassion and our cohesiveness and not doing things to further divide our groups. John Crotty declared in both the August 2019 and March 2020 meetings that abortion is the "civil rights movement of our time". This could not be further from the truth as we are still working on civil rights movements over racism, gender inequality, LGBTQ rights and poverty, just to name a few. These are the issues we should be working to fix. If the city is really interested in reducing the number of abortions, fixing these other inequalities has been shown to greatly reduce the number of people seeking abortions. Maybe the city, instead of adopting a statement that they have no control or oversight over, could provide free prenatal care to women, provide free child care, raise the minimum wage, advocate for better sex education, provide free and open access to birth control. All of these would provide actual help and make the change you want to see.

The bottom line is that the city made an error in adopting this statement. The council should have upheld the first vote on this issue and left it out of the city government process. That being said, you have the opportunity to right the wrong. Removing the statement does not mean that you no longer believe in what the statement professes, it is simply saying that you have seen the evidence that this has negatively impacted the community and you care enough about all of the people in this community to remove the statement. We are all free to advocate for our beliefs on our own time, but not force those beliefs into the city's business. Some of you will have a hard time voting to remove this because of your personal beliefs or because of the pressure you feel to placate certain people in this community, but your job as a member of this city council is put aside your personal feelings on an issue and vote in the best interest of the city and ALL of its residents. If you can do that, the only vote you can really have on this issue is to remove the statement as it is a clear violation of church and state and has an overall negative impact on the community. I thank you for your time and your service to this community. It is not an easy decision, but you were elected to make the difficult decisions.

Sincerely,

Danny Hayes

## Letter # 11

Dear Auburn City Council,

To claim that our city of Auburn, NE is a sanctuary for the pre-born is not only misleading and conflicting but more so a disgrace to the girls and women who reside within our community.

The statement creates confusion as to what services really are available to women. Currently, how does our community support, respect, and defend the rights of the pre-born? We DO NOT have a "safe house" for women who "choose" to carry their unborn to term to receive needed services. We DO NOT even have a hospital within our community to provide prenatal care or delivery services. The only service available to women is Project Response, and it is my understanding that their services are dedicated to survivors of domestic and sexual violence, not expecting mothers.

In the statement, who are we supporting, the born or the pre-born? We cannot fully support the born *and* the pre-born at the same time when a woman is forced to feel shame and embarrassment about seeking services for *her* reproductive health. As the statement reads, "...at every stage of development", I feel like our community has prioritized supporting, respecting, and defending the rights of a pre-born child over supporting, respecting, and defending the rights of the women who currently reside and contribute to our community on a daily basis. As a female living in Auburn, NE who is raising a daughter of my own, as well as a son in which I am working diligently to instill the importance of not only respecting everyone but especially women, this is a huge kick in the gut.

The statement also feels like women within our community have no self - autonomy. Who gave our council members the right to take that away? Women absolutely have the right to make decisions about their reproductive health, just as they do with choosing their primary healthcare physician or what type of toothpaste they buy, and absolutely *should not* feel shame or embarrassment in doing so. This statement discourages women from freely making decisions around THEIR reproductive health because they reside in "a community that supports inalienable right for all citizens, born and pre-born." As a woman living in Auburn, NE, I feel as if our council members stripped me, my daughter, and every other female within our community of the control over *our* reproductive health and that is humiliating.

I purchased my home within the Auburn community in January - had I waited until this statement was approved, I would have never purchased a home in Auburn. I thought better of the Auburn community but shame on you.

Sincerely,

A concerned Community Member

## **Out of hundreds of petition signatures, some left comments...**

"This isn't a city issue. For the well-being of our city and to represent all citizens, please reverse this statement."

-Erin Goering

"The statement has no merit. As a community we welcome everyone. Our community isn't even equipped with prenatal care or a hospital with a birthing facility, thus we are unable to perform local services to the unborn."

-Michelle Chowning

"I'm not aware of any city in this country that specifically does not welcome or support the pre-born. For that reason, the statement serves no clear purpose. Additionally, it is not the city government's place to make a religious statement; the separation of Church and State exists for many good reasons. As an active Christian myself, I'm deeply troubled that this statement would lead community members to have to defend themselves against natural presuppositions. For example...what does it say about a community that goes out of its way to specifically welcome the pre-born, but NOT to specifically welcome people of color, people in the LGBTQ+ community, and other marginalized groups? This was an irresponsible decision."

-Cassie Shaw

"Church and state should be separate."

-Cassandra Culling

"A sanctuary city should be inclusive of everyone from all walks of life. We should not be excluding those that have made difficult and life changing decisions, rather we should welcome them with open arms. This religious statement has no place in our government."

-Danielle Gauchat

"This isn't a city issue."

-Aubrey DeBaal

"I used to live here and grew up here. Cities and towns should remain unbiased towards political views such as that."

-Corrina Minadeo

"No city should wrap its identity in the politics of a person's body or choices. The city council had no business taking this up. Let people live their lives without intimidation."

-Emilee Pease

"I can't believe we even have to explain why this statement for the city is so wrong."

-Jennifer Smith

"I'm signing because I believe religion has no place in government and I believe in inclusiveness."

-Leya Smith

"Religion should not be in any way involved in government policies."

-Richard Burow

"A city that prides itself on its school should support and welcome all, no matter their race, sexuality, gender. As a community, no one should be judged on their religious beliefs or choices. If Auburn is for its citizens, then it should be for ALL citizens."

-Adam Krause

"This non-binding statement serves no purpose other than intimidation and branding Auburn as a place that is unsafe for people with uteruses. Religion and state are separate and there is no reason a few individuals need to make a sweeping statement over private healthcare decisions."

-Mary Ensz

"This is NOT a government decision!"

-Lindsey Stukenholtz

"Advocating for unity!!!"

-Diana Palmerton

"I am signing this because this is a religious topic and there is and should be a separation of church and state. Women get to make decisions about their own bodies, not the government or anyone else."

-Kim Beger

**Denise Eggers**

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AGENDA ITEM  
NO 12

**From:** wordpress@auburn.ne.gov  
**Sent:** Thursday, July 9, 2020 8:05 AM  
**To:** Denise Eggers; Kim Beger  
**Subject:** New submission from Contact

**Name**

Paige Meyer

**Email**

[paigemeyer@unomaha.edu](mailto:paigemeyer@unomaha.edu)

**Reason for Contacting**

Dear Mayor White and Auburn City Council Members,

I am writing to express my support for removing Auburn's pro-life statement. The statement is a violation of the separation of church and state within the first amendment and does not represent the beliefs of all people in this community.

Sincerely,

Paige Meyer

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This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.

## Denise Eggers

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**From:** wordpress@auburn.ne.gov  
**Sent:** Thursday, July 9, 2020 8:05 AM  
**To:** Denise Eggers; Kim Beger  
**Subject:** New submission from Contact

**Name**

Nikki Hayes

**Email**

[nikkihayes819@gmail.com](mailto:nikkihayes819@gmail.com)

**Reason for Contacting**

Dear Mayor White and Auburn City Council Members,

I am writing to express my support for removing Auburn's pro-life statement. The statement is a violation of the separation of church and state within the first amendment and does not represent the beliefs of all people in our community.

Sincerely,  
Nikki Hayes

---

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## Denise Eggers

---

**From:** wordpress@auburn.ne.gov  
**Sent:** Thursday, July 9, 2020 8:21 AM  
**To:** Denise Eggers; Kim Beger  
**Subject:** New submission from Contact

**Name**

Bobbie Crotty

**Email**

[Bobbie.crotty@gmail.com](mailto:Bobbie.crotty@gmail.com)

**Reason for Contacting**

Dear Mayor White and Auburn City Council Members,

I am writing to express my support for removing Auburn's pro-life statement. The statement is a violation of the separation of church and state within the first amendment and does not represent the beliefs of all people in our community.

Sincerely,

Bobbie Crotty

---

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## Denise Eggers

---

**From:** wordpress@auburn.ne.gov  
**Sent:** Thursday, July 9, 2020 8:42 AM  
**To:** Denise Eggers; Kim Beger  
**Subject:** New submission from Contact

**Name**

Rachel Woods

**Email**

[rwoods0212@gmail.com](mailto:rwoods0212@gmail.com)

**Reason for Contacting**

Dear Mayor White and Auburn City Council Members,  
I am writing to express my support for removing Auburn's pro-life statement. The statement is a violation of the separation of church and state within the first amendment and does not represent the beliefs of all people in our community.  
Sincerely,  
Rachel Woods

---

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## Denise Eggers

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**From:** wordpress@auburn.ne.gov  
**Sent:** Thursday, July 9, 2020 9:01 AM  
**To:** Denise Eggers; Kim Beger  
**Subject:** New submission from Contact

### Name

Nicole Crittenden

### Email

[Crittenden0528@gmail.com](mailto:Crittenden0528@gmail.com)

### Reason for Contacting

Dear Mayor White and Auburn City Council Members,

I am writing to express my support for removing Auburn's pro-life statement. The statement is a violation of the separation of church and state within the first amendment and does not represent the beliefs of all people in our community.

Sincerely,

Nicole Crittenden

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## Denise Eggers

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**From:** wordpress@auburn.ne.gov  
**Sent:** Thursday, July 9, 2020 10:17 AM  
**To:** Denise Eggers; Kim Beger  
**Subject:** New submission from Contact

### Name

Chelsea Parker

### Email

[allgood.chelsea@gmail.com](mailto:allgood.chelsea@gmail.com)

### Reason for Contacting

Dear Mayor White and Auburn City Council Members,

I am writing to you this morning to express my support for removing Auburn's pro-life statement. In addition to being in violation of the separation of church and state, I feel the statement is an unfair representation of our community as a whole and does not paint a very welcoming and inclusive picture for those looking to make Auburn their home. I consider myself to be pro-life, however, I have lovingly supported people very close to me who have had to make this gut-wrenching decision and it breaks my heart to know they are quietly feeling shamed and excluded by the recent adoption of this statement.

Thank you for taking the time to consider this important matter,

Chelsea Parker

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## Denise Eggers

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**From:** wordpress@auburn.ne.gov  
**Sent:** Thursday, July 9, 2020 11:19 AM  
**To:** Denise Eggers; Kim Beger  
**Subject:** New submission from Contact

### Name

Tonia Greiner

### Email

[toniagreiner\\_bc@yahoo.com](mailto:toniagreiner_bc@yahoo.com)

### Reason for Contacting

Dear Mayor White and Auburn City Council Members,

I am writing to express my support for removing Auburn's pro-life statement. The statement is a violation of the separation of church and state within the first amendment and does not represent the beliefs of all people in our community.

Sincerely, Tonia Greiner

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## Denise Eggers

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**From:** wordpress@auburn.ne.gov  
**Sent:** Thursday, July 9, 2020 12:34 PM  
**To:** Denise Eggers; Kim Beger  
**Subject:** New submission from Contact

**Name**

Diana Palmerton

**Email**

[palmertonphotography@gmail.com](mailto:palmertonphotography@gmail.com)

**Reason for Contacting**

Dear Mayor White and Auburn City Council Members,

I am writing to express my support for removing Auburn's pro-life statement. The statement is a violation of the separation of church and state within the first amendment and does not represent the beliefs of all people in our community.

Sincerely,

Diana Palmerton

---

This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.

## Denise Eggers

---

**From:** wordpress@auburn.ne.gov  
**Sent:** Thursday, July 9, 2020 1:35 PM  
**To:** Denise Eggers; Kim Beger  
**Subject:** New submission from Contact

### Name

Joanne Catlett

### Email

[j.catlett1966@gmail.com](mailto:j.catlett1966@gmail.com)

### Reason for Contacting

Dear Mayor White and Auburn City Council Members,  
I am writing to express my support for removing Auburn's pro-life statement. The statement is a violation of the separation of church and state within the first amendment and does not represent the beliefs of all people in the community and those that live outside the community now but think of Auburn as their hometown.

Sincerely,  
Joanne Catlett

---

This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.

## Denise Eggers

---

**From:** wordpress@auburn.ne.gov  
**Sent:** Thursday, July 9, 2020 9:39 PM  
**To:** Denise Eggers; Kim Beger  
**Subject:** New submission from Contact

### Name

Amanda Palmerton

### Email

[Apalmerton@yahoo.com](mailto:Apalmerton@yahoo.com)

### Reason for Contacting

Dear Mayor White and Auburn City Council Members,

I am writing to express my support for removing Auburn's odd, divisive, religious statement. The statement is a violation of the separation of church and state within the first amendment and does not represent the beliefs of all people in our community.

Sincerely,

Amanda Palmerton

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This email has been scanned for spam and viruses by Proofpoint Essentials. Click [here](#) to report this email as spam.

**NOTICE OF PUBLIC HEARING  
CITY OF AUBURN, NE., CITY COUNCIL  
REAL ESTATE REZONING REQUEST  
AT 2613 "N" STREET, AUBURN, NE.**

Public Notice is hereby given by the City of Auburn, NE., that a Public Hearing will be held at 7:05 p.m. on Monday, July 13, 2020, with said meeting being open to public attendance at Auburn City Hall, 1101 "J" St., in Auburn, NE. An agenda for such meeting is kept continuously current and is available for public inspection at the City Clerk's Office at Auburn City Hall. A public hearing will be conducted before the Auburn City Council of the City of Auburn, NE. in its own capacity.

The purpose of the public hearing is to obtain public comment prior to the immediate subsequent consideration of the proposed real estate lot rezoning request for 2613 "N" St., Auburn, NE., legally described as: *The West 40 ft of Lots 2, 3, & 4, BLK 32, in the original town of Calvert, now Auburn, Nemaha County, Nebraska.* The above described real estate is currently zoned R-2, Medium Density Residential District pursuant to City Code Section 152.033. The real estate Owner has made written petition to rezone the real estate to C-R Commercial/Residential District pursuant to City Code Section 152.037.

All interested parties shall be afforded at such public hearing a reasonable opportunity to express their views regarding this Real Estate Rezoning Request proposed for consideration by the Auburn City Council. Previous public hearing was heard before the Auburn Planning Commission on Tuesday, June 16, 2020 at or about 7:05 p.m., resulting, after consideration of the Planning Commission, with the recommendation of the Planning Commission to approve owner's rezoning request. Individuals requiring interpreter services, Braille, large print, or recorded materials please contact the City Clerk, at Auburn City Hall or by telephone at (402) 274-3420.

Sherry Heskett, City Clerk  
City of Auburn, NE.

April 29, 2020

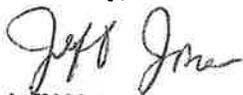
City of Auburn

To Whom It May Concern,

As owner of this property, this letter is being written to request the rezoning of ***The West 40 feet of Lot 2, Lots 3 and 4, Block 32 in the original town of Calvert, now Auburn, Nemaha County, Nebraska*** from Residential to Commercial-Residential. The surrounding properties are zoned Agriculture Residential, Residential Transition, and Commercial Residential.

This property includes the former Auburn Baptist Church Building and ground. Rezoning of this property will allow for improvements and repurposing of current building and future development opportunities.

Sincerely,



Jeff W Jones

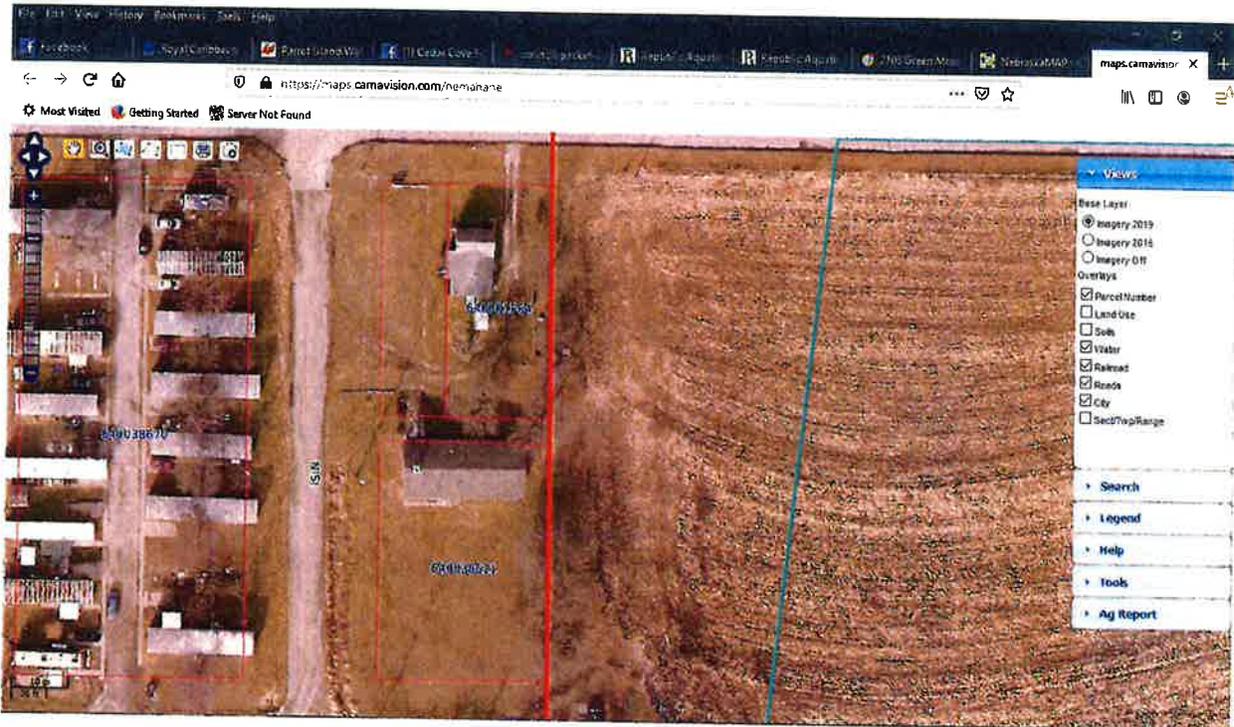
1800 23rd  
Auburn, Ne 68305

402/274-7928



To the Auburn City Council

I have a request. The planning committee is going to recommend the rezoning of the church and parking lot at 2613 N Street to commercial/residential. Between that property and my property at 1319 26<sup>th</sup> Street is an alley. For many years the alley has been blocked by the ramp to the church door but access to N street from my property has been mutually agreed to use the church parking lot. This can be seen on the GIS map where a definite driveway exists through the church parking lot.



With the change of use it is uncertain that that access will be permitted and as such I request the city look at possible ways to retain my legal access to the south boundary of my property. There are a few possibilities to make this happen:-

- 1) The city could remove the ramp and return the alley access as originally platted.
- 2) The city could move the alley to the north and retain the ramp. I assume this will need some form of re-platting or similar.
- 3) The city could set up a working committee with all interested parties involved to come to a mutually accepted solution.

Thank you for your consideration in this matter.

Don Law

816 248 6966

Corporate Limits

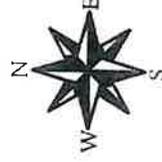
AGR

R-4

U.S. HIGHWAY #73 & 75

\*\*Note: This area includes Terrace Heights 1st, 2nd, 3rd and 4th additions.

# CITY OF AUBURN NEMAHA COUNTY, NEBRASKA Official Zoning Map



REVISED: C.R.D. OCT. 2003  
 REVISED: B.H. APRIL, 2008  
 REVISED: B.H. OCTOBER, 2011

THIS MAP PREPARED USING INFORMATION FROM RECORD DRAWINGS SUPPLIED BY L.E.O. AND/OR OTHER APPLICABLE CITY, COUNTY, STATE, FEDERAL, OR PUBLIC OR PRIVATE ENTITIES. J.E.O. DOES NOT GUARANTEE THE ACCURACY OF THIS MAP OR THE INFORMATION USED TO PREPARE THIS MAP. THIS IS NOT A SCALED PLAT.

**JEO**  
Consulting Engineers, Inc.

2200 West 10th Street  
 303.433.8821  
 1700 Box 297  
 Omaha, Nebraska 68104

**Omaha Office**  
 2200 West 10th Street  
 303.433.8821

**Lincoln Office**  
 1400 North 16th Street  
 402.433.8821

**Nebraska City Office**  
 202 S. 3rd St.  
 402.337.8118

**Avonlea, Nebraska**  
 202 S. 3rd St.  
 402.337.8118

**Central City**  
 121 W. 1st St.  
 402.337.8118

**North Platte Office**  
 712 2nd St.  
 712.244.4112

**East Omaha, Nebraska**  
 712 S. 11th St.  
 402.337.8118

**Specialty Services**  
 712.665.8821

www.jeo.com

MINUTES OF THE PLANNING AND ZONING (P&Z) COMMISSION OF THE CITY OF AUBURN, NE – 7:00 PM, June 16, 2020  
Conducted via Zoom Meeting

Chair Davis called the meeting to order at 7:00 p.m. and announced that the Open Meetings Act law was posted as required.

The roll was called. Members present: Dave Davis, Tony Johnson, Amber Kinnaman, Merri Johnson, Derek Hemmingsen, James Fogarty

Members absent: Doug Jones

Also present via Zoom: Angelo Ligouri, City Attorney; Jeff Jones, owner of property proposed for rezoning; and Don Law, owner of property adjacent to the property proposed for rezoning (see below).

Motion by Tony Johnson, seconded by Amber Kinnaman, to approve the minutes of the February 18, 2020, meeting. Roll call vote: Dave Davis, yes; Derek Hemmingsen, yes; Tony Johnson, yes; Amber Kinnaman, yes; Merri Johnson, yes; James Fogarty, yes. Motion carried.

**7:05 p.m. Chair Davis opened the Public Hearing to obtain comment on consideration of a proposed real estate lot rezoning request for 2613 'N' Street, Auburn, NE, legally described as the West 40 feet of Lots 2, 3 and 4, Block 32 in the original town of Calvert, now Auburn, Nemaha County, Nebraska. The above described real estate is currently zoned R-2 Medium Density Residential District pursuant to City Code Section 152.033. The real estate owner has made written petition to rezone the real estate to C-R Commercial/Residential District pursuant to City Code Section 152.037.**

Planning and Zoning Chair Dave Davis invited Jeff Jones, the owner of the above-described real estate, to explain the reasons for his request. Jones noted that the property was most recently used commercially as a church, and that it had been on the market for quite some time. He considered the cost of rehabbing it for residential use, but found that to be not viable. He felt the property could be re-purposed at some point for a small business. Additionally, the property is large enough for another small building and parking. Jones stated that the property abuts land currently zoned Commercial/Residential, Agriculture, and Residential Transition.

Don Law expressed concerns over the Commercial zoning designation potentially allowing undesirable activities in a neighborhood that is primarily residential now. He also stated that ample commercial real estate is available elsewhere in Auburn, and noted that the property in question is not accessible by paved street. He also had concerns about the alley between his property and the property proposed for rezoning.

Jones stated that he does not intend to make commercial use of the property himself. He plans to use it for personal purposes only, though not as a residence. Therefore, because the building itself is a commercial building (a church) in a residential zoning area, he felt the property should be rezoned to Commercial/Residential. (Churches, although technically "commercial," are allowed in Residential zoned areas.)

City Attorney Angelo Ligouri addressed Mr. Law's concerns about access, specifically, the alley between his property and the property proposed for rezoning. Jones stated that he had asked Dave Hunter with Auburn Board of Public Works about vacating the alley and Hunter has no objections because the City does not need the alley for utility purposes. Jones further stated that he is willing to work with Mr. Law on the access issues. The access issues are separate from the zoning considerations, and are therefore not relevant to the Planning and Zoning Commission's decision-making process on Jones' request.

There being no further comments or questions, Chair Davis closed the Public Hearing at 7:42 p.m.

**Motion by James Fogarty, seconded by Tony Johnson, to recommend to the Auburn City Council that the West 40 feet of Lots 2, 3 and 4, Block 32 in the original town of Calvert, now Auburn, Nemaha County, Nebraska, (a/k/a 2613 N Street, Auburn, NE), be rezoned from Residential to Commercial/Residential. Roll call: Derek Hemmingsen, yes; Tony Johnson, yes; Amber Kinnaman, yes; Merri Johnson, yes; James Fogarty, yes; Dave Davis, yes. Motion carried.**

**Consideration of Amber and Bryan Kinnaman's request to vacate a portion of Ninth Street west of 'P' Street.**

Amber Kinnaman explained that she and Bryan Kinnaman own Blocks 21 and 22 of Gilmore's Second Addition to the City of Auburn. These lots are bounded by P and Q Streets on the east and west, and are divided by 9<sup>th</sup> Street. This one-block stretch of Ninth Street, between P and Q Streets, is platted and has utilities buried in the right of way, but is not utilized as a street. Kinnamans would like this one-block stretch of Ninth Street to be vacated because this street right-of-way is landscaped as part of the Kinnamans' residential property in Block 22 noted above.

Kinnaman stated that she has been verbally notified by Dave Hunter, Manager of Auburn Board of Public Works, to remove the landscaping. She asked City Attorney Angelo Ligouri if she could be forced to remove the landscaping. He replied in the affirmative, however, he expressed the opinion that this would not likely be pursued until such time as Block 21 was developed.

Ligouri advised Kinnaman that vacating the street would not change the fact that the Board of Public Works would still need access to the buried utilities in the right-of-way. He also noted that she can take her request directly to the City Council without any action by the Planning and Zoning Commission, or she could simply drop the issue.

Chair Davis asked Kinnaman if she wanted to advance to City Council or table the issue for the time being. She indicated her desire to proceed on the matter now.

**Motion by Derek Hemmingsen, seconded by Tony Johnson, to inform the Auburn City Council that the Planning and Zoning Commission has no objection to Kinnaman's request to vacate one block of Ninth Street, between P and Q Streets, in Auburn. Roll call vote: Tony Johnson, yes; Amber Kinnaman, abstain; Merri Johnson, no; James Fogarty, yes; Dave Davis, yes; Derek Hemmingsen, yes. Motion carried.**

Chair Davis called for adjournment at 8:28 p.m. Motion by James Fogarty, seconded by Tony Johnson. Motion carried unanimously on ye or nay voice vote.

Merri Johnson, Recording Secretary

ORDINANCE NO. 0\_\_-20  
OF THE CITY OF AUBURN, NEMAHA COUNTY, NEBRASKA

AN ORDINANCE TO AMEND ZONING CLASSIFICATION/DESIGNATION TO REAL PROPERTY IN AUBURN, NEMAHA COUNTY, NEBRASKA, CITY LIMITS; TO DESIGNATE COST OF FEES; TO AUTHORIZE AMENDMENT OF THE OFFICIAL ZONING MAP OF THE CITY TO SHOW SAID CHANGE; TO PROVIDE FOR THE REPEAL OF CONFLICTING ORDINANCES OR SECTIONS THEREOF; AND TO PROVIDE FOR AN EFFECTIVE DATE.

RECITALS:

WHEREAS, a written petition has been submitted to the City Council through the City Clerk by real estate owners, Jeffrey & Kathleen Jones, owners of *The West 40 ft of Lots 2, 3, & 4, BLK 32, in the original town of Calvert, now Auburn, Nemaha County, Nebraska.*, Parcel I.D. No. 640038611, (street address: 2613 "N" St.), for amendment, modification, and-or change of the current R-2, Medium Density Residential District pursuant to City Code Section 152.033. to C-R Commercial/Residential District classification pursuant to City Code Section 152.037;

WHEREAS, the petition for proposed amendment, modification, and/or change was referred to and heard by the City Planning Commission for Its study and recommendation to be made after public hearing, to the City Council, legal notice was published of the same, and the City Planning Commission made recommendation for approval to the City Council, on or about June 16, 2020, as stated and included within their June 2020 Planning Comm. Proposed Minutes. (Code Sect. 152.002, Neb. Rev. Stat. §§ 19-904 & 19-905)

WHEREAS, proper public legal notice was published pursuant to Neb. Rev. Stat. § 19-904 in the Nemaha County Herald on July

1, 2020 & July 9, 2020, as well as, posted on the property at least 10 days prior to public hearing before the Council as is required by Nebraska Law;

WHEREAS, the petition of the property owners has come on for Public Hearing before the City Council, at public meeting in City Hall Chambers on this 13th day of July, 2020, at 7:00 p.m., or as soon thereafter as may be heard, to hear and receive public comment from citizens of the City, and parties that may be directly affected by the proposed amendment or change and in consideration of the recommendation made by the City Planning Commission.

The City Council being fully informed about said request, found that the requested amendments conform to the applicable Comprehensive Plan goals and policies for the City, as well as, the City of Auburn, NE, Zoning Ordinance(s) and Regulations based on material submitted, consideration and recommendation of the Planning Commission, and considerations presented to and reviewed by the City Planning Commission and the City Council before, at, and during public hearing upon Petitioner's request.

NOW THEREFORE, BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF AUBURN, NEBRASKA;

SECTION 1. That the City Council adopts the Conclusionary Findings, Determination(s), and Recommendation of the City Planning Commission.

SECTION 2. That the City Council approves the property owners request to change the property classification of real estate identified as: *The West 40 ft of Lots 2, 3, & 4, BLK 32, in the original town of Calvert, now Auburn, Nemaha County, Nebraska.,* Parcel I.D. No. 640038611, (street address: 2613 "N" St.), for amendment, modification, and-or change of the current R-2, Medium Density Residential District pursuant to City Code Section 152.033. to C-R Commercial/Residential District classification pursuant to City Code Section 152.037;

SECTION 3. That property owners, Jeffrey & Kathleen Jones, shall pay and be responsible for cost incurred for a new survey and filing fees thereof, pursuant with their request;

SECTION 4. The Governing Body hereby finds and determines that this property classification zoning amendment conforms to the City's applicable Comprehensive Plan, goals and policies, for the City, as well as, the City of Auburn, NE, Zoning Ordinance(s) and Regulations, and is beneficial to the public good and in the best interests of the municipality and its residents.

SECTION 5. That the City Clerk is hereby authorized to file a certified copy of this Ordinance with the County Clerk, ex-officio Register of Deeds, within 30 days after the effective date of this Ordinance to be indexed against all affected lots.

SECTION 6. That all Ordinances and Resolutions or parts thereof in conflict herewith be and the same are hereby repealed.

SECTION 7. That the official zoning map shall be changed/amended to show the property classification as amended and provided within this Ordinance.

SECTION 8. That this Ordinance shall be in full force and effect from and after its passage, approval, and publication according to law.

Passed and Approved by City Council on this 13th day of July, 2020, by the following votes:

Ayes: \_\_\_\_\_

Nays: \_\_\_\_\_

\_\_\_\_\_  
R. Daniel White, Mayor of the City  
of Auburn, Nebraska

ATTEST:

---

Sherry Heskett, Municipal Clerk  
of the City of Auburn, Nebraska

(Seal)

Approved as to Form & Legality:

---

City Attorney

**CITY OF AUBURN  
NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY GIVEN** that on **Monday, July 13, 2020** 2020 in the Auburn City Hall at 1101 "J" Street, as part of their 7:00 PM City Council meeting, the City of Auburn will hold a public hearing to provide an opportunity for public comment concerning an existing Community Development Block Grant (CDBG) project awarded to the City.

**CDBG #18-HO-36067 Owner Occupied Rehabilitation:** The City was awarded \$547,000 in 2018 CDBG funds to implement a Citywide "Owner-Occupied Housing Rehabilitation Program. Eighteen homes are to be rehabilitated for LMI owner-occupant families as a result of the program. 100% of the CDBG funds will benefit Low to Moderate Income Persons. Of the CDBG Funds awarded, \$450,000 for Housing Rehabilitation Code 0530, \$72,000 for Housing Management Code 0580 & Lead Paint Testing Code 0580a, and \$25,000 for General Administration Code 0181.

All interested parties are invited to attend this public hearing, at which time you will have an opportunity to be heard regarding this project. Written and oral testimony will also be accepted at the public hearing being held as part of the regular City Council meeting. Said meeting is scheduled to start at 7:00 PM, July 13, 2020 at City Hall in the council chambers, 1101 "J" Street, Auburn, NE. Written comments addressed to Sherry Heskett, City Clerk at 1101 "J" Street, Auburn, NE 68305 will be accepted if received on or before July 13th, 2020.

Individuals requiring physical or sensory accommodations including interpreter service, Braille, large print, or recorded materials, please contact Sherry Heskett, City Clerk at 1101 "J" Street, Auburn, NE 68305, (402) 274-3420 no later than July 10th, 2020. Accommodations will be made for persons with disabilities and non-English speaking individuals provided that at least one business days notice is received by the City of Auburn.

CITY OF AUBURN, NEBRASKA  
NOTICE OF PUBLIC HEARING FOR  
COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM

---

NOTICE IS HEREBY GIVEN that on Monday, July 13, 2020 in the Auburn City Hall at 1101 "J" Street, as part of their 7:00 PM City Council meeting, the City of Auburn will hold a public hearing to provide an opportunity for public comment concerning an existing Community Development Block Grant (CDBG) project awarded to the City.

**CDBG #14-DTR-107 Downtown Revitalization:** The City was awarded \$350,000 in CDBG funds to complete commercial rehabilitation projects for the business district within the City of Auburn. The project was completed. The project met the national objective of prevention or elimination of slum or blight conditions. Of the CDBG Funds awarded, \$333,000 was for commercial rehabilitation 0590, and \$17,000 was for General Administration Code 0181.

All interested parties are invited to attend this public hearing, at which time you will have an opportunity to be heard regarding this project. Written and oral testimony will also be accepted at the public hearing being held as part of the regular City Council meeting. Said meeting is scheduled to start at 7:00 PM, July 13, 2020 at City Hall in the council chambers, 1101 "J" Street, Auburn, NE. Written comments addressed to Sherry Heskett, City Clerk at 1101 "J" Street, Auburn, NE 68305 will be accepted if received on or before July 13<sup>th</sup>, 2020.

Individuals requiring physical or sensory accommodations including interpreter service, Braille, large print, or recorded materials, please contact Sherry Heskett, City Clerk at 1101 "J" Street, Auburn, NE 68305, (402) 274-3420 no later than July 10<sup>th</sup>, 2020. Accommodations will be made for persons with disabilities and non-English speaking individuals provided that at least one business days notice is received by the City of Auburn.

## NOTICE OF INTENT TO REQUEST RELEASE OF FUNDS

*June 26, 2020*

*The City of Auburn  
1101 J Street  
Auburn, NE 68305*

AGENDA ITEM  
NO

16

*402-274-3420*

On or about July 13<sup>th</sup>, 2020 the City of Auburn will authorize the Auburn Housing Authority to submit a request to the HUD Office of Public Housing for the release of Public Housing Capital funds under section 9 of the United States Housing Act of 1937 (42 U.S.C. 1437g), to undertake a project known as the Auburn Housing Authority Capital Funds Program 2019-2023 for the purpose of routine facility repairs and maintenance totaling \$321,024 over the course of five-years at Valley View Apartments, located at 1017 H St, Auburn Ne.

The activities proposed are categorically excluded under HUD regulations at 24 CFR Part 58 from National Environmental Policy Act (NEPA) requirements. An Environmental Review Record (ERR) that documents the environmental determinations for this project is on file at Auburn City Hall, located at 1101 J St. Auburn NE and may be examined or copied weekdays 8 A.M to 5 P.M.

### PUBLIC COMMENTS

Any individual, group, or agency may submit written comments on the ERR to the Auburn City Clerk. All comments received by July 13<sup>th</sup> will be considered by the City of Auburn prior to authorizing submission of a request for release of funds.

### ENVIRONMENTAL CERTIFICATION

The City of Auburn certifies to HUD that Dan White in his capacity as Mayor consents to accept the jurisdiction of the Federal Courts if an action is brought to enforce responsibilities in relation to the environmental review process and that these responsibilities have been satisfied. HUD's approval of the certification satisfies its responsibilities under NEPA and related laws and authorities and allows the Auburn Housing Authority to use Program funds.

### OBJECTIONS TO RELEASE OF FUNDS

HUD will accept objections to its release of fund and the City of Auburn's certification for a period of fifteen days following the anticipated submission date or its actual receipt of the request (whichever is later) only if they are on one of the following bases: (a) the certification was not executed by the Certifying Officer of the City of Auburn; (b) the City of Auburn has omitted a step or failed to make a decision or finding required by HUD regulations at 24 CFR part 58; (c) the grant recipient or other participants in the development process have committed funds, incurred costs or undertaken activities not authorized by 24 CFR Part 58 before approval of a release of funds by HUD; or (d) another Federal agency acting pursuant to 40 CFR Part 1504 has submitted a written finding that the project is unsatisfactory from the standpoint of

environmental quality. Objections must be prepared and submitted in accordance with the required procedures (24 CFR Part 58, Sec. 58.76) and shall be addressed to HUD Office of Public Housing, 400 State Avenue, Room 200, Kansas City, KS 66101-2406. **Due to the COVID Pandemic, comments may also be submitted by email to [GPOPH@hud.gov](mailto:GPOPH@hud.gov).** Potential objectors should contact HUD to verify the actual last day of the objection period.

Dan White, Mayor of City of Auburn

Southeast Nebraska Development District  
Lincoln, NE 68521

AGENDA ITEM  
NO 16

# Invoice

Date	Invoice #
6/17/2020	003

**Bill To**

City of Auburn  
1101 J Street  
Auburn, NE 68305

Terms	Due Date
Net 60	8/16/2020

Item	Description	Project	Qty	Rate	Amount
Admin	Environmental Reviews	70-211 Aub...		2,500.00	2,500.00

\*\* Please include Project Number (example 60-07) on check \*\*

Hourly rate established by SENDD Board of Directors.

Total	\$2,500.00
Payments/Credits	\$0.00
Balance Due	\$2,500.00

Phone #
402-475-2560

E-mail	Web Site
kpham@sendd.org	www.sendd.org



July 3, 2020

AGENDA ITEM  
NO 17

Sent via first-class mail:

**City of Auburn**

1101 J Street  
Auburn, Nebraska 68305

402-274-3420  
402-274-4154 fax  
www.auburn.ne.gov

**MAYOR**

Dan White

**COUNCIL MEMBERS**

- Katy Billings
- Shawn Clark
- Tom Clark
- Chris Erickson
- Rick Janssen
- Jeff Jeanneret

Mr. Lonnie Haynes  
2103 L Street  
Auburn, NE 68305

RE: Notice of expiration of Rehabilitation Grant, 621 Central Ave.

Mr. Haynes:

Please be advised that your rehabilitation Grant with the City of Auburn, Nebraska, regarding your property at 621 Central Avenue, Auburn, Nebraska, County Parcel ID: 640006086, and any extension thereto, has expired. If you would like to request an extension, the same will need to be requested for consideration by the City Council, by contacting City Hall, 1101 J Street, Auburn, Nebraska, or by telephone, (402) 274-3420. The next Council public meeting is July 13, 2020 at 7:00 p.m., where your appearance is requested.

Your Rehabilitation Agreement with the City of Auburn, Nebraska, signed February 22, 2018 has also expired, a copy of your Rehabilitation Agreement is enclosed herein for your reference. Rehabilitation needs to be completed this summer and the property needs to be maintained. Please contact the City Building Inspector, Jake Armknecht, (402) 274-3189 to set-up a time to walk through your property to discuss further completion work and timeframes. Since you are in non-compliance with rehabilitation, the City Council could move to have the property cleared, assessing the cost to you. Please work as quickly as possible to follow through with rehabilitating the property.

Also, in review of your property at 621 Central Avenue, Auburn, Nebraska, you now have past due and owing real estate taxes for the tax years 2018 and the first half of 2019, a copy of the Nebraska Taxes Online information showing the tax delinquency for your property is enclosed herein for your reference. Please be advised that the enclosed information does not accurately show the pay-off amount needed to bring your real estate taxes current, as interest accrues daily. To obtain accurate pay-off information you will need to contact the Nemaha County Treasurer's Office, (402) 274-3319. Please bring your real estate taxes current at your earliest possible convenience.

If you have further concerns with these matters, please contact myself, Jake, or your Council representative. Your swift compliance is necessary. Thank you.

  
Angelo M. Ligouri,  
Attorney for the City of Auburn, NE

AML/kev  
Enclosure(s)  
cc: Mayor/Council/Clerk/Building Insp.



EQUAL HOUSING OPPORTUNITY



3. The roof needs to be repaired to keep from further deterioration. The roof must be secure and stable, to provide for safe occupancy, with approval by the City Building Code Enforcement Officer.

Agreed upon completion date of 30 days after weather permitting

\_\_\_\_\_  
City Building Code Enforcement Officer

\_\_\_\_\_  
Date Approved

4. Remodel of the basement and the main floor, as previously discussed by and between the owner and the City Building Code Enforcement Officer, and outlined herein within the sketches attached hereto and incorporated herein by this reference, provided by and agreed upon by the Owner and City Building Code Enforcement Officer.

Agreed upon completion date of 90-120 days after temp power is turned on

\_\_\_\_\_  
City Building Code Enforcement Officer

\_\_\_\_\_  
Date Approved

5. The property needs a new garage door. Agreed upon completion date of 1<sup>st</sup> wk (7 days)  
after temp power is hooked up & weather permitting

\_\_\_\_\_  
City Building Code Enforcement Officer

\_\_\_\_\_  
Date Approved

6. The yard surrounding the residence must be cleared of unused items and yard waste. The outside of the residence shall be maintained to include, repair of any cracks in the cement and foundation; all exterior doors must be repaired or replaced to be sure they fit properly; repair or replacing any rotted or broken pieces of siding; painting and/or weather sealing of siding, and all windows and doors; all windows must be operational and in good repair; fascia board and gutters must be operational and in good repair.

Agreed upon completion date of 30+ days after startig / weather permitting

\_\_\_\_\_  
City Building Code Enforcement Officer

\_\_\_\_\_  
Date Approved

7. All rehabilitation requirements within this Agreement and attached hereto within the signed Building Permit/diagram, dated January 05, 2018, provided by the Owner.

Total rehabilitation being completed within 6-9 mos months of the original start date, as agreed to by the Owner(s) and City Building Code Enforcement Officer. *If problems arise that are unforeseen communication will be kept with (CBCEO) to make adjustments & continue on open (CBCEO)*

\_\_\_\_\_  
City Building Code Enforcement Officer

\_\_\_\_\_  
Date of Completion

8. Should the Owner(s) fail to comply with the rehabilitation of the property, as stated out within this Agreement, the City of Auburn, NE, shall remove the nuisance structure upon 30 day notice to the Owner of Owner's failure to comply with the terms of this Rehabilitation Agreement at the following address: 621- Central Ave or the City may proceed as permitted by law with the prosecution of a Nuisance Abatement action, including seeking fines of up to \$500.00 per Count/per day, pursuant to City Code Section 10.99, and such further relief as deemed appropriate, until all said requirements are completed; *& -or with agreement w/[CBCEO]*

Authorized by the City of Auburn, NE, & the Owner(s) signing herein below. It is the Owner's complete intention for the property at 621 Central Avenue, Auburn, NE., to be fully restored and rehabilitated within the 9 -month time-period agreed to, within this agreement, or that the nuisance structure, vacated personal property and debris shall be fully removed at the time and expense of the property Owner(s), signing herein below, pursuant to Auburn City Code §99.59. *(from actual start time)*

Date: 2-26-18

\_\_\_\_\_  
Angelo M. Liguori, City Attorney

Date: 2/22/18

\_\_\_\_\_  
Glen L. Hogue, Code Enforcement Officer

Date: 12-20-18

\_\_\_\_\_  
Lonnie Haynes,

Owner of 621 Central Ave., Auburn, NE 68305

~~Subscribed and sworn to before me on this 22 day of Feb 2018~~  
\_\_\_\_\_  
a Notary Public in and for the  
County of Hamilton, State of Nebr.

\_\_\_\_\_  
(Signature) Notary Public

My Commission expires 12-20-18

CITY OF AUBURN, NEBRASKA - BUILDING PERMIT APPLICATION

OFFICE USE ONLY			
Permit #	Date	Paid	Log #

Job Address 621 Central Ave. Application Date \_\_\_\_\_  
 Legal Description: Lot(s) No. \_\_\_\_\_ Block \_\_\_\_\_ Addition \_\_\_\_\_  
 Owner Lonnie Haynes Contact Phone No 660-654-1120  
 Contractor(s) LANNIE Plumbing Self  
Haynes Heating \_\_\_\_\_  
 Architect \_\_\_\_\_ Electrical Wilson Electric

Type of Building	Work to be Done
<input checked="" type="checkbox"/> Residence	<input checked="" type="checkbox"/> Remodel <u>see attached papers</u>
<input type="checkbox"/> Apartment	<input type="checkbox"/> Alteration
<input type="checkbox"/> Commercial Bldg.	<input type="checkbox"/> Addition
<input type="checkbox"/> Public Bldg.	<input type="checkbox"/> Repair
<input type="checkbox"/> Warehouse	<input type="checkbox"/> Mech./Plumbing
<input type="checkbox"/> Garage	<input type="checkbox"/> Roof/Siding
<input type="checkbox"/> Fence/Walk/Drive	<input type="checkbox"/> Demolition
<input type="checkbox"/> Curb Cut Requirement	<input type="checkbox"/> Other Bldg./Structure
<input type="checkbox"/> Use of Explosives during Construction	Type _____
Signs _____	

Approx. Starting Date \_\_\_\_\_ Approx. Completion Date \_\_\_\_\_  
 (Ref. 9-104—to be within 90 days) (Ref. 9-104—approx. within 1 year)  
 Valuation of Work: \$ 20,000 Fee 25 Type \_\_\_\_\_ Code # \_\_\_\_\_  
 Description (SEE BACK) \_\_\_\_\_ Easement Check (SEE BACK) \_\_\_\_\_

**Please Read Carefully**

- I hereby certify that I have read and examined this application, and have answered all statements correctly, to the best of my knowledge. All work will be done in accordance with the uniform building code and other ordinances of the City of Auburn, Nebraska. I further certify that I am authorized to sign this application.
- Building Permit Approval may require a minimum of 36 hours and up to 4 days for approval.
- It is regulated by IBC a minimum of 1 set of plans for minor projects (garages, etc.) and 2 sets of plans for major projects (homes, new buildings, etc.).

Signature: Lonnie Haynes  
 (Owner, Contractor or Authorized Agent)

Bldg. Inspector \_\_\_\_\_  
 Final Approval by \_\_\_\_\_ Disapproved by \_\_\_\_\_

Special Notes \_\_\_\_\_

Building Permit Sign off for acknowledged time and an Easement or Hookup check is required.

Board of Public Works --  
Electricity/Water/ Sanitary Sewer \_\_\_\_\_ Gas \_\_\_\_\_

Telephone \_\_\_\_\_ Cable \_\_\_\_\_

Diggers Hotline Registration # \_\_\_\_\_  
Diggers Hotline (800-331-5666)

Easements for property can be located on plat maps at the County Clerk's office. It is understood it is the property owner's responsibility of an easement and hookup check.

A building permit will not be issued until all parties involved sign off and date this document before approval is given. The building permit is void if a conflict with the easement exists. Easement checks are required for outside work on construction.

Approved By: \_\_\_\_\_ Disapproved By: \_\_\_\_\_

\*\*\*\*\*

Describe Work total remodel of property at 621 Canal Ave.  
Arbun NE see attached sheets expanding kitchen thru  
south wall extending wall to meet North garage wall

Set Back: Front \_\_\_\_\_ L.Side \_\_\_\_\_ R.Side \_\_\_\_\_ Rear \_\_\_\_\_

Show on plan below lot dimensions, set back dimensions, and building placements. Also draw, by simple directional line, the proposed drainage.

REAR SET BACK

- Items
- ① Repair ~~Pop~~ Log
  - ② Remodel - Basement & main floor
  - ③ New Garage Door
  - ④ Rewire as needed - New Box (Elec) & Service (By Bd of PW)
  - ⑤ Install new plumbing as needed Basement & upstairs
  - ⑥ Repair / Repaint as needed

SIDE AND OR FRONT SET BACK

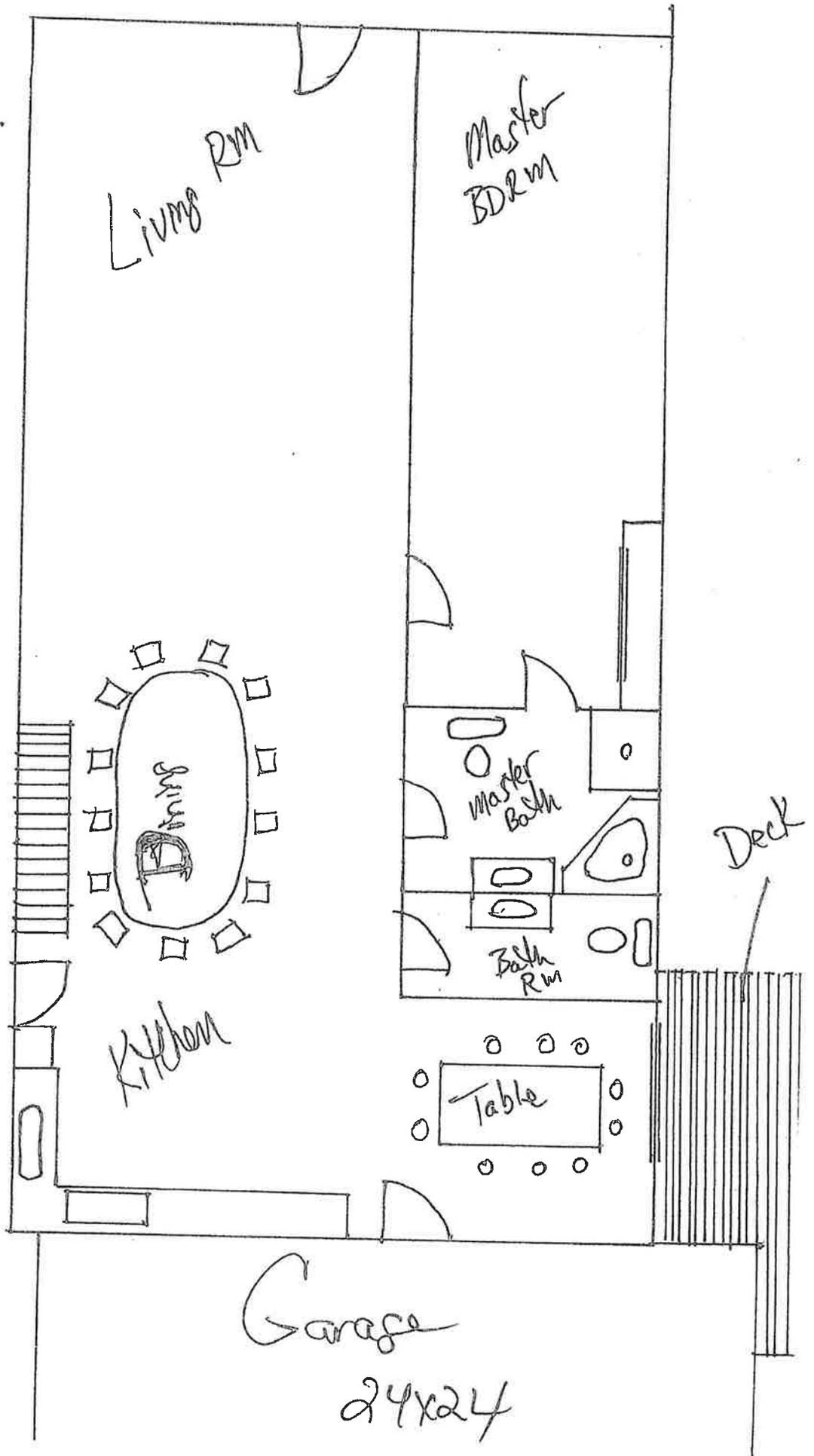
SIDE AND OR FRONT SET BACK

FRONT SET BACK

No. 2 restored  
white.

117

1-05-18  
621 Central Ave.



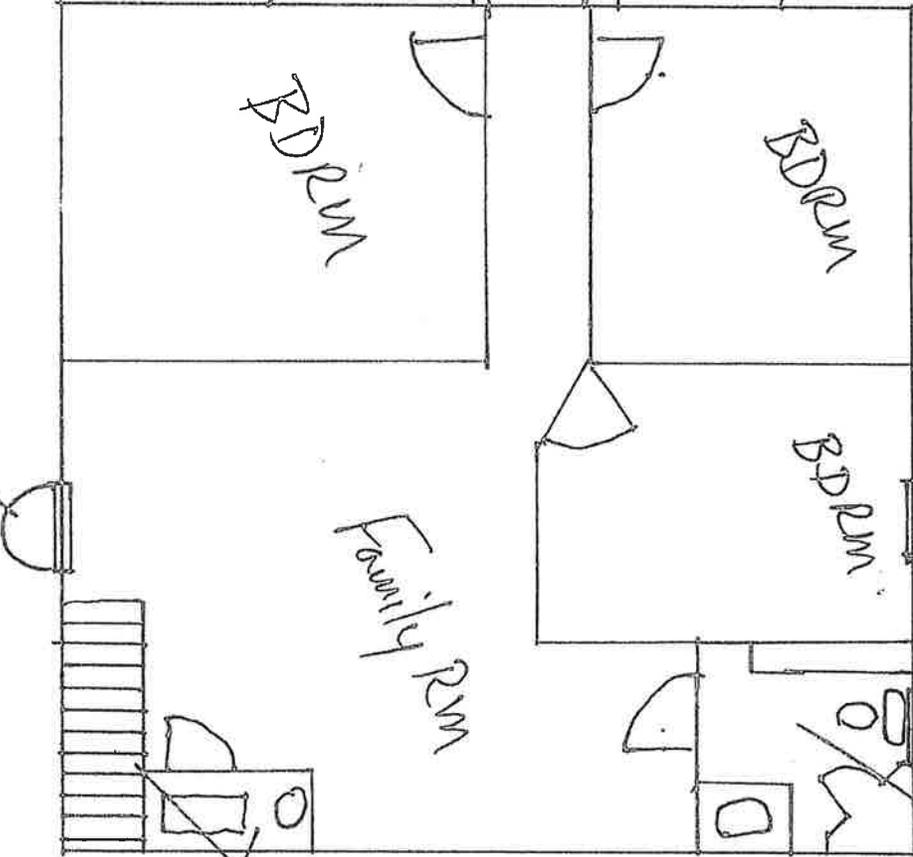
Side walk



1-05-18  
621 Central Ave.

Side walk

Stress window



New  
Basement  
layout

Stress  
window

BDRM

BDRM

BDRM

Family Rm

Bath  
Rm

Furnace /  
Hot  
water

Stairs

**Tax Statement**

Served by WEBSERVER-1

**Nemaha County**

Step 4 of 8

**Perm ID** 640006086  
**Name** HAYNES LONNIE  
 2103 L ST  
 AUBURN NE 68305-2632

**Legal**  
 HOWE & NIXON SECOND ADD TO AUBURN BLK 33 LT 6  
 621 CENTRAL AVE



Levy Graph Value Graph Tax Graph

Year	Statement	Value	Tax	Exemption	Net Tax	Balance Due
2019	600499	\$ 0	\$ 0.00	\$ 0.00	\$ 0.00	\$ 0.00
2019	000499	\$ 21,150	\$ 441.86	- \$ 22.02	\$ 419.84	\$ 419.84
2018	600500	\$ 9,410	\$ 190.08	- \$ 8.14	\$ 181.94	\$ 181.94
2018	000500	\$ 11,740	\$ 237.14	- \$ 10.16	\$ 226.98	\$ 226.98
2017	602629	\$ 9,410	\$ 190.38	- \$ 8.28	\$ 182.10	\$ 0.00
2017	002629	\$ 11,740	\$ 237.54	- \$ 10.32	\$ 227.22	\$ 0.00
2016	602734	\$ 9,410	\$ 187.04	- \$ 8.42	\$ 178.62	\$ 0.00
2016	002734	\$ 11,740	\$ 233.36	- \$ 10.52	\$ 222.84	\$ 0.00
2015	602597	\$ 9,410	\$ 187.52	- \$ 8.86	\$ 178.66	\$ 0.00
2015	002597	\$ 11,740	\$ 233.98	- \$ 11.04	\$ 222.94	\$ 0.00
2014	601808	\$ 9,410	\$ 190.40	- \$ 6.74	\$ 183.66	\$ 0.00
2014	001808	\$ 11,740	\$ 237.52	- \$ 8.40	\$ 229.12	\$ 0.00
2013	601826	\$ 10,060	\$ 209.06	- \$ 6.64	\$ 202.42	\$ 0.00
2013	001826	\$ 11,740	\$ 243.96	- \$ 7.74	\$ 236.22	\$ 0.00
2012	601799	\$ 10,060	\$ 211.92	- \$ 7.18	\$ 204.74	\$ 0.00
2012	001799	\$ 11,740	\$ 247.28	- \$ 8.40	\$ 238.88	\$ 0.00
2011	601793	\$ 200	\$ 4.30	- \$ 0.16	\$ 4.14	\$ 0.00
2011	001793	\$ 11,740	\$ 251.96	- \$ 8.84	\$ 243.12	\$ 0.00
2010	603946	\$ 200	\$ 4.20	- \$ 0.16	\$ 4.04	\$ 0.00
2010	003946	\$ 11,740	\$ 246.36	- \$ 9.26	\$ 237.10	\$ 0.00
2009	603996	\$ 14,590	\$ 308.64	- \$ 12.00	\$ 296.64	\$ 0.00
2009	003996	\$ 22,035	\$ 466.12	- \$ 18.12	\$ 448.00	\$ 0.00
2008	605654	\$ 14,590	\$ 310.28	- \$ 12.56	\$ 297.72	\$ 0.00
2008	005654	\$ 22,035	\$ 468.60	- \$ 18.98	\$ 449.62	\$ 0.00
2007	605615	\$ 14,590	\$ 307.32	- \$ 12.14	\$ 295.18	\$ 0.00
2007	005615	\$ 22,035	\$ 464.14	- \$ 18.34	\$ 445.80	\$ 0.00
2006	605757	\$ 14,590	\$ 300.92	\$ 0.00	\$ 300.92	\$ 0.00
2006	005757	\$ 22,035	\$ 454.46	\$ 0.00	\$ 454.46	\$ 0.00
2005	605746	\$ 14,590	\$ 301.36	\$ 0.00	\$ 301.36	\$ 0.00
2005	005746	\$ 22,035	\$ 455.16	\$ 0.00	\$ 455.16	\$ 0.00
2004	605780	\$ 22,035	\$ 450.12	\$ 0.00	\$ 450.12	\$ 0.00
2003	006122	\$ 22,035	\$ 449.56	\$ 0.00	\$ 449.56	\$ 0.00
2002	005735	\$ 22,035	\$ 437.20	\$ 0.00	\$ 437.20	\$ 0.00
2001	005529	\$ 22,035	\$ 428.74	\$ 0.00	\$ 428.74	\$ 0.00
2000	004618	\$ 21,190	\$ 422.96	- \$ 6.48	\$ 416.48	\$ 0.00
1999	004618	\$ 21,190	\$ 430.76	\$ 0.00	\$ 430.76	\$ 0.00
1998	004286	\$ 21,190	\$ 441.58	\$ 0.00	\$ 441.58	\$ 0.00
1997	005486	\$ 16,290	\$ 439.12	\$ 0.00	\$ 439.12	\$ 0.00
1996	002945	\$ 16,290	\$ 442.96	\$ 0.00	\$ 442.96	\$ 0.00
1995	002921	\$ 16,290	\$ 0.00	\$ 0.00	\$ 0.00	\$ 0.00
1994	002906	\$ 15,185	\$ 458.19	- \$ 458.19	\$ 0.00	\$ 0.00

ORDINANCE NO. -20  
OF THE CITY OF AUBURN, NEMAHA COUNTY, NEBRASKA

AN ORDINANCE CONFIRMING THE SALE OF CITY-OWNED NUISANCE ABATEMENT SURPLUS REAL ESTATE AND PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City of Auburn, Nebraska ("CITY") is the owner of real estate located in Nemaha County, Nebraska and legally described in Exhibit "A" attached hereto ("PROPERTY"); and,

**WHEREAS**, the Mayor and City Council hereby find and determine that on the 13th day of August 2018, the City passed Resolution No. 12-18 directing the sale of real estate described in Exhibit "A", attached hereto, and incorporated herein by this reference; and,

**WHEREAS**, bids were received pursuant to the City's request for sale; and,

**WHEREAS**, the City's first proposed buyer did not timely complete transfer and the real estate was posted "For Sale".

**WHEREAS**, the City has received two (2) bids/offers for the purchase of the PROPERTY. The bids/offers are attached hereto as Exhibits "B" and "C" and incorporated herein by this reference; and,

**WHEREAS**, public notice advertising the CITY's intent to enter into a public sale and purchase agreement of the PROPERTY was previously posted in three (3) prominent places within the community of Auburn, NE., at least 7 days prior to sale.

**BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF AUBURN, NEBRASKA;**

SECTION 1. The Mayor and City Council hereby approves the sale \_\_\_\_\_ of the PROPERTY to the Grantee(s), \_\_\_\_\_, in the amount of \$\_\_\_\_\_.00, pursuant to the terms of City Resolution No. 12-18 and Exhibit "C" incorporated herein and submitted after Resolution and posting for publication for the sale of the real estate identified and incorporated herein as Exhibit "A",

SECTION 2. The Mayor is authorized to execute, and the City Clerk or Deputy City Clerk is authorized to attest, a Special

Quitclaim Deed conveying the PROPERTY to the Grantee(s), pursuant to the terms of the above identified Resolution directing the sale of the real estate and the written bid for purchase of the real estate attached hereto and incorporated herein as Exhibit "\_\_\_\_". The Property is sold **AS IS** with covenants and restrictions of record.

SECTION 3. That this Ordinance shall be in full force and effect from and after its passage, approval and publication according to law.

Passed and Approved this 13<sup>th</sup> day of July, 2020.

\_\_\_\_\_  
R. Daniel White, Mayor of the  
City of Auburn, Nebraska

ATTEST:

\_\_\_\_\_  
Sherry Heskett, Municipal Clerk  
of the City of Auburn, Nebraska

(Seal)

{Exhibits "A", "B" & "C" attached hereto on the following pages}

**EXHIBIT "A"**

East Half (E1/2) of Lots One (1) thru Four (4), of Block  
Twenty (20), Calvert Addition to Auburn, Nemaha County,  
Nebraska.

Property Address: 2500 "P" Street, Auburn, NE 68305.  
Tax I.D. No: 640001106

To whom it may concern;

The following information is to be used as our application for the \$10,000 New House Construction Grant in the city of Auburn.

Gregory Hepner and Patricia Reid

2001 K St., Auburn, NE 68305

Greg-816-800-1763 email- [greg\\_hepner@yahoo.com](mailto:greg_hepner@yahoo.com)

Tricia-402-274-9582 email- [triciareid81@hotmail.com](mailto:triciareid81@hotmail.com) (preferred method of contact)

Building location is still pending. If lot is approved, the address will be 2500 P Street, Auburn.

Estimated cost to build the home is \$175,000. Verbal bid from Dave Pieters (foundation) is \$39,500. The rest of the bids (electric, heating and air) have yet to be completed. Rough estimate of material is \$65,000.

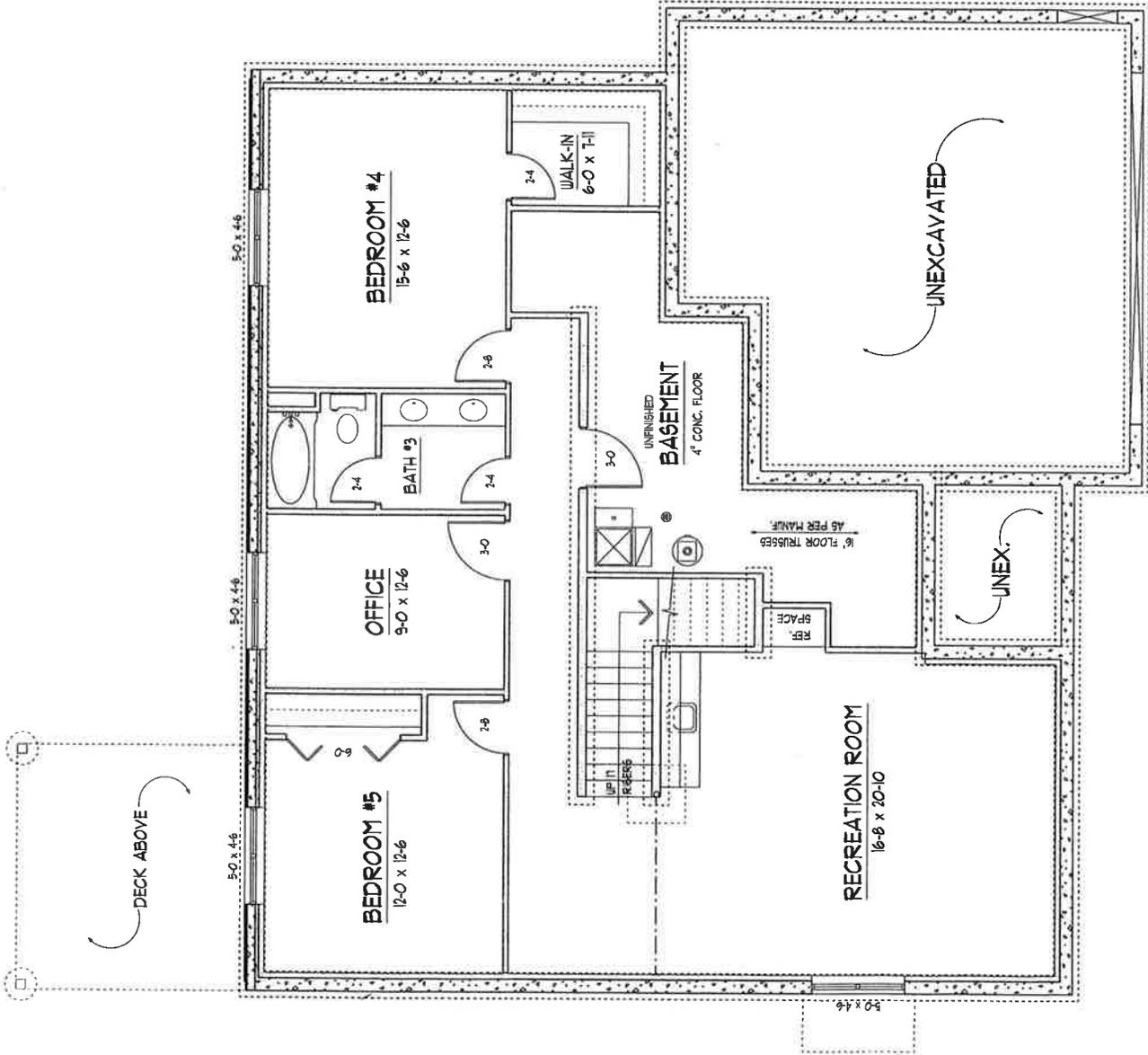
Greg will be building the home except for major services; electrical (Tom Combs), hvac and plumbing (airstream), and concrete (Pieter's Construction).

Pending approval we are hoping to break ground beginning of August and have the home completed by February 2021.

We have included pictures of our preliminary floor plans. Please keep in mind that these are not the final plans and small changes may take place. However, the dimensions and square footage will not change.

Thank you for your time and consideration.

Gregory Hepner & Patricia Reid



NOTE:  
 9'-0" FOUNDATION  
 WALL HEIGHT UNLESS  
 OTHERWISE SPECIFIED.

FINISHED BSMT. 181 SQ. FT.

PRELIMINARY PLAN  
 PLAN FOR REVIEW AND  
 BIDDING PURPOSES ONLY  
 NOT FOR CONSTRUCTION

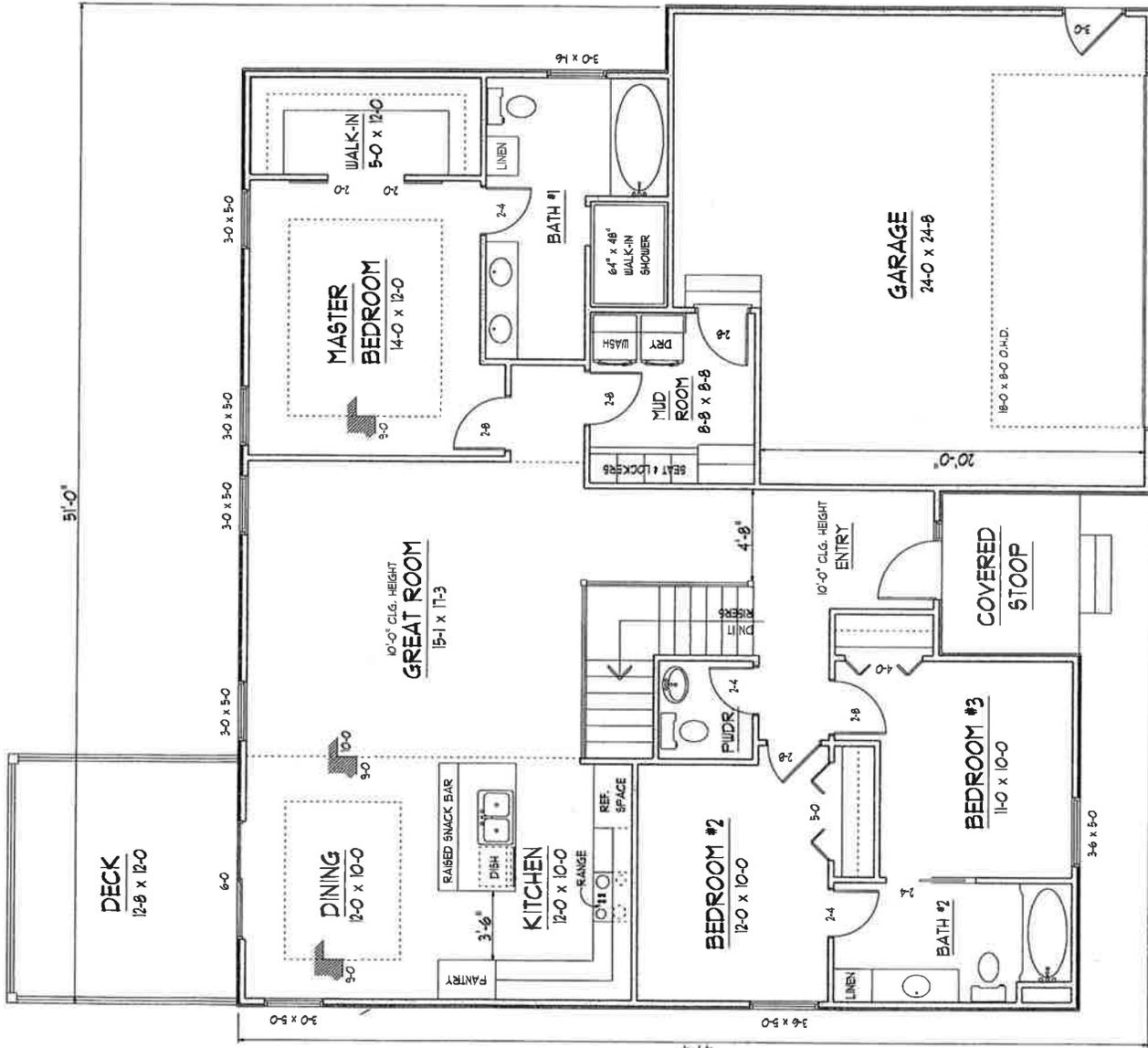


The Trade Center  
 6031 South 58th Street, Suite C  
 Lincoln, NB 68516  
 Phone: (402) 420-0088  
 Fax: (402) 420-0089  
 www.newventures.com

NY21420  
 RED-HEPNER  
 RESIDENCE

**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"



NOTE:  
 9'-0" CEILING HEIGHT  
 ON MAIN LEVEL UNLESS  
 OTHERWISE SPECIFIED.

MAIN LEVEL 1612 SQ. FT.  
 GARAGE 511 SQ. FT.

PRELIMINARY PLAN  
 PLAN FOR REVIEW AND  
 BIDDING PURPOSES ONLY  
 NOT FOR CONSTRUCTION

**new VENTURES**  
 RESIDENTIAL DESIGN  
 The Trade Center  
 6031 South 58th Street, Suite C  
 Lincoln, NE 68516  
 Phone: (402) 420-0088  
 Fax: (402) 420-0089  
 www.newventures.com

NV21420  
 RED-HEPNER  
 RESIDENCE

**MAIN LEVEL FLOOR PLAN**

SCALE 1/4" = 1'-0"

July 8th, 2020

Wehenkel  
2117 P Street  
Auburn, NE 68305  
(402) 274-9728

City of Auburn  
New House Construction Grant  
1101 J Street  
Auburn, NE 68305

Dear City of Auburn Housing Committee,

As a resident of Auburn, please consider this an application for the \$10,000 new house construction grant.

The funding of this grant will be used towards our new home construction beginning in the spring of 2021. We currently live at 2117 P Street in Auburn and have decided to build our forever home here in Auburn. We have plans to build a \$400,000 home and would love to be considered for this grant opportunity.

Gerdes Construction and Vinson & Cole will be working together on this 2,004 square foot ranch style home. The house will be located in the Glenrock area on the lot that we own. The lot is number 38. The home will have a three car garage, five bedrooms, three bathrooms, and will feature a walk out basement. Please see the attached floor plans for further information regarding the layout of the house.

Thank you for considering our family for this \$10,000 grant. If you have further questions or need to contact us, please reach us at (402) 274-9728.

Sincerely,

Brandon & Leah Wehenkel

# GENERAL INFORMATION:

## A. DESIGN LOADS

FLOOR: 40 P.S.F. LIVE LOAD  
10 P.S.F. DEAD LOAD

ROOF: 25 P.S.F. LIVE LOAD  
10 P.S.F. DEAD LOAD

## B. FOOTINGS/FOUNDATION & CONCRETE

1. CONCRETE TO BE 3500 P.S.I.
2. REINFORCEMENT FOR FOOTINGS TO BE (2) #4 REBAR CONT.
3. REINFORCEMENT FOR FOUNDATION WALLS #5 VERT # 40" O.C. OR #4 VERT # 24" O.C. #4 REBAR HORIZ # 24" O.C.
4. REINFORCEMENT FOR CONCRETE SLABS TO BE #4-6X10@10" W/1" OR REBAR 3'-0" CENTERS
5. PLACE 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS AND MASONRY WALLS OCCURRING ALONG EXTERIOR PARTS OF BUILDING.
6. FROST LINE FOOTING MIN. 36" DEEP BELOW FINISHED GRADE.
7. PLACE 1/2" DIAMETER SILL PLATE ANCHOR BOLTS 1" INTO CONCRETE. SPACE BOLTS AT 4'-0" O.C. AND RETAIN WITHIN 2" OF EACH CORNER AND PLACE ON BOTH SIDES OF ANY OPENS.
8. ALL PLATES, SILLS THAT REST ON CONCRETE OR MASONRY THAT IS IN CONTACT WITH THE EARTH SHALL BE PRESSURE TREATED WOOD (CCA).

## C. FRAMING

1. UNLESS OTHERWISE STATED, MINIMUM FRAMING LUMBER SHALL BE #2 HEMPER.
2. UNLESS STATED OTHERWISE PROVIDE:
  - a. DOUBLE 2X12 HEADERS WITH 1/2" PLYWOOD BETWEEN, PLACED IN ALL EXTERIOR OPENINGS AND ANY INTERIOR LOAD BEARING WALLS OPENINGS.
  - b. IF T.J. USED SQUASH BLOCKS TO BE PLACED ON ONE SIDE OF JOIST'S ON LOAD BEARING WALL. IF ONE STORY OF LOAD BEARING IS ABOVE JOISTS, IF TWO STORY'S OF LOAD BEARING ARE ABOVE JOIST'S BLOCKS NEED TO BE PLACED ON BOTH SIDES OF T.J.I.
  - c. IF STANDARD LUMBER IS USED FOR FLOOR JOIST'S TWO ROWS OF 1'X3" CROSS BRIDGING ARE TO BE PLACED PER JOIST SPAN.
  - d. FLOOR CONSTRUCTION: APA RATED STUD-FLOOR 24" O.C. 29.32" TG EXPOSURE 1. GLUED WITH SUBFLOOR ADHESIVE AND NAILLED.
  - e. ROOF SHEATHING TO BE A.P.A. RATED 24/8 EXPOSURE, 1/16" THICK.
  - f. ALL CLOSETS TO BE 2'-0" FINISHED, WITH A 16" SHELF AND POLE.
  - g. ALL INTERIOR WALLS TO BE COVERED WITH 1/2" GYPSUM BOARD, TAPE, FLAT AND SAND. (3 COATS) INTERIOR CEILING & GARAGE FIRE WALL AND CEILING TO HAVE 5/8" FIRECODE GYPSUM BOARD.
  - h. PROVIDE 2x2x6" WITH PLYWOOD FOR HEADERS ABOVE ALL INTERIOR DOOR OPENINGS UNLESS NOTED OTHERWISE.
3. PROTECTION FROM DECAY AND TERMITES, ANY WOOD IN CONTACT WITH THE EARTH SHALL BE PRESSURE TREATED WOOD. (CCA)

## D. THERMAL AND MOISTURE PROTECTION.

1. MIN. R-5-40 INSULATION ON ALL EXTERIOR WALLS OF HEATED AREA. MIN R-30 INSULATION USED IN ALL CEILINGS AND RAFTER ADJACENT TO THE EXTERIOR.
2. R-5 MIN. RIGID INSULATION AT MASONRY FOUNDATION WALLS AND SLAB ON GRADE PERIMETER TO 24".
3. SILL SEALER PLACED BETWEEN FOUNDATION AND SILL PLATE.
4. HOUSE WRAP TO GO AROUND ALL PLYWOOD ON WALLS.
5. CAULKING AT ALL WINDOW DOOR, AND BOTTOM PLATE LOCATIONS.

## E. STAIRS & RAILING

1. STAIRS WILL BE CONSTRUCTED WITH AN 7-3/4" MAXIMUM RISE AND A 10" MINIMUM RUN. 6'0" IS THE MINIMUM HEAD ROOM.
2. HANDRAILS: 1 1/4" MINIMUM TO 2 5/8" MAXIMUM, NO LESS THAN 34" AND NO MORE THAN 38" ABOVE THE NOSING OF THE STAIRS. BALLUSTERS TO BE NO MORE THAN 4" O.C. GUARDRAILS TO BE NO LESS THAN 36" IN HEIGHT.

## F. EXTRAMISC.

1. DO NOT SCALE DRAWING. WRITTEN DIMENSIONS RULE OVER SCALED DIMENSIONS.
2. TOILET ACCESS: WATER CLOSET STOOL SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30" IN WIDTH AND NOT LESS THAN 27" IN FRONT OF THE WATER CLOSET (15" FROM W.C. CENTER).
3. FIRE RATED DOORS: 20 MIN. OCCUPANCY SEPERATION ON THE GARAGE SIDE WITH A 1 3/8" SOLID CORE DOOR.
4. HEATING & A/C: AS PER LOCAL CODE
5. ELECTRICAL: AS PER LOCAL REQUIREMENTS.
6. ENGINEERING CALCULATIONS OF LOADS FOR BEAM SIZES MAY BE REQUIRED WHEN SUBMITTING THESE PLANS FOR PERMIT APPROVAL.
7. SMOKE DETECTORS TO BE WIRED CONCORDANTLY WITH WIRING & BATTERY BACKUP
8. ALL WALLS OVER 10'-0" IN HEIGHT MUST HAVE FIRESTOP6 EVERY 10'-0".
9. PROVIDE 5/8" DRYWALL AS A DRAFT STOP ON ONE SIDE OF ONE OPEN WEB TRUSS ON FLOORS OVER 3000 S.F.

## DISCLAIMER:

BY DESIGN & DRAFTING IS HEREBY RELEASED FROM ANY AND ALL LEGAL CLAIMS BY THE PURCHASER OF THESE PLANS. THE PURCHASER OF THESE PLANS SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND FOR OBTAINING ANY RIGHT OF LEGAL ACTION. RESPONSIBILITY OR LIABILITY AGAINST DESIGN & DRAFTING SHALL BE LIMITED TO THE EXTENT THAT THE PURCHASER OF THESE PLANS HAS BEEN ADVISED IN WRITING THAT THE PLANS WERE DESIGNED AND DRAFTED TO MEET SPECIFICATION OF CODES OR ANY AVERAGE CONDITIONS IN NEBRASKA. BECAUSE CONDITIONS AND CODES VARY FROM STATE TO STATE B.L.D.C. CAN NOT BE HELD RESPONSIBLE FOR ANY VIOLATION OF ANY LOCAL, STATE, COUNTY, STATE, AND FEDERAL CODES. FOR DETERMINING THE APPLICATION OF THESE PLANS FOR YOUR REGION, SEEK THE CONSULTATION OF YOUR LOCAL BUILDING PROFESSIONAL. IT IS THE RESPONSIBILITY OF THE PURCHASER AND/OR BUILDER TO MEET THESE CODES DURING CONSTRUCTION. DESIGN & DRAFTING SHALL NOT BE HELD LIABLE AND/OR RESPONSIBLE FOR THE ASSISTANCE AND/OR OTHER PROFESSIONAL BUILDER6 STATE THIS IS THE ORIGINAL SET OF PLANS. ANYTHING ALTERED FROM THE PLANS IS CONSIDERED AN EXTRA.

DESIGNED BY:

**ZIEMANN & SON'S CONSTRUCTION**

270-168 TH PLEASANT DALE, NE 68423  
DESIGN (402) 440-5996.....CHRIS

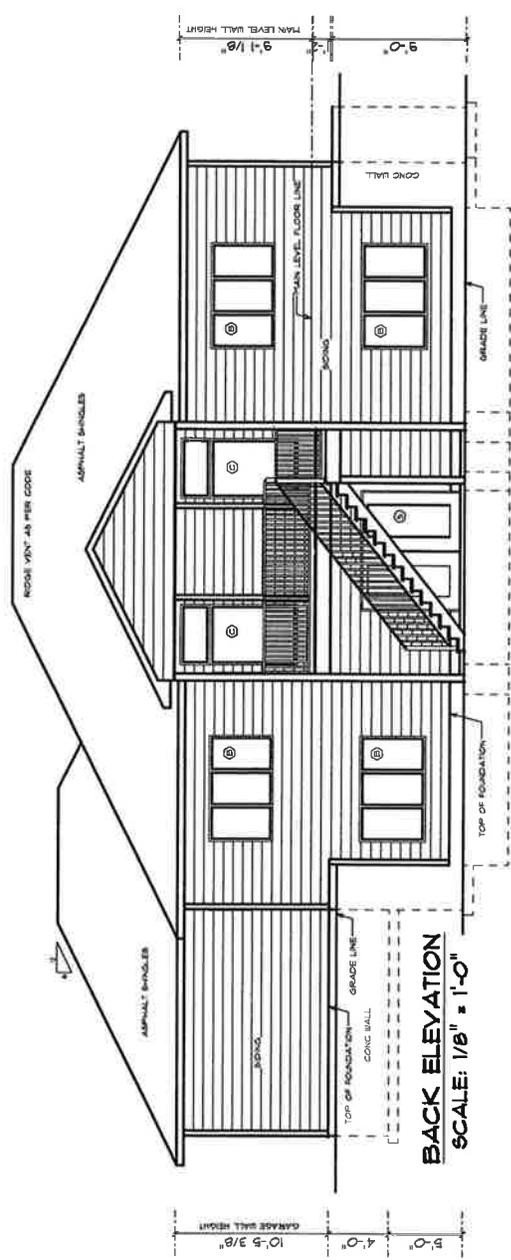
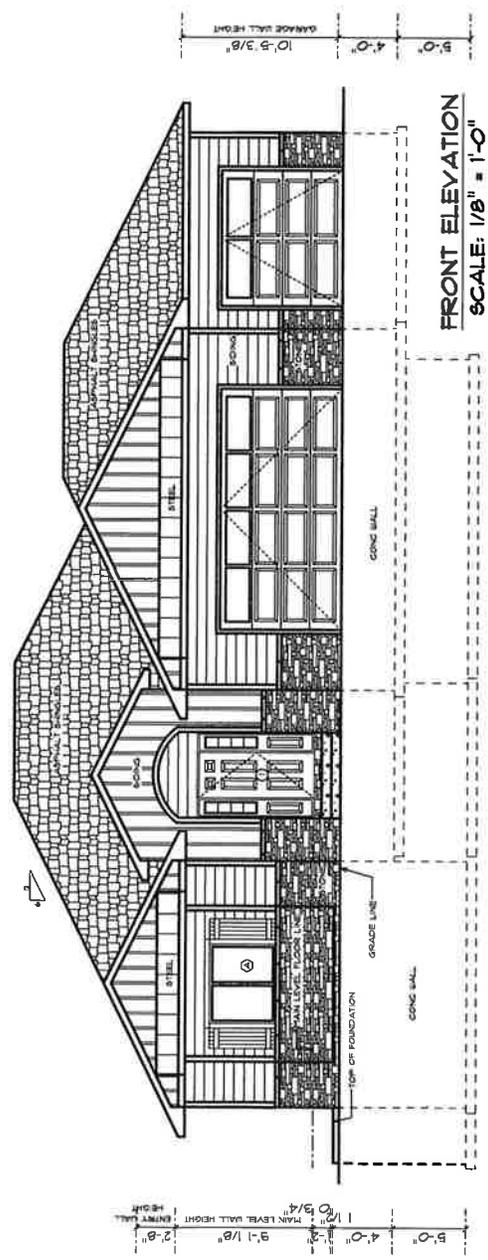
RESIDENCE PLAN FOR: BRANDON & LEAH WEHINKEL  
RESIDENCE LOCATION: AUBURN, NE  
PRELIMINARY PLAN 060719

# PRELIMINARY PLANS 060719

DESIGNED BY:  
**ZIEMANN & SON'S CONSTRUCTION**  
 270-168TH RD PLEASANT DALE, NE 68423  
 DESIGN (402) 440-5996..... CH16

DESIGNER IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A CONSTRUCTION PROFESSIONAL. BECAUSE THE SUITABILITY OF THESE PLANS FOR USE ON YOUR SPECIFIC SITE CONSULT YOUR CONSTRUCTION PROFESSIONAL TO DETERMINE THE SUITABILITY OF THESE PLANS FOR YOUR SPECIFIC SITE AND APPLICATIONS

WEHENKEL RES. 060719  
 DRAWN BY: CHRIS ZIEMANN  
 DATE: JUNE, 2015  
 PAGE 1

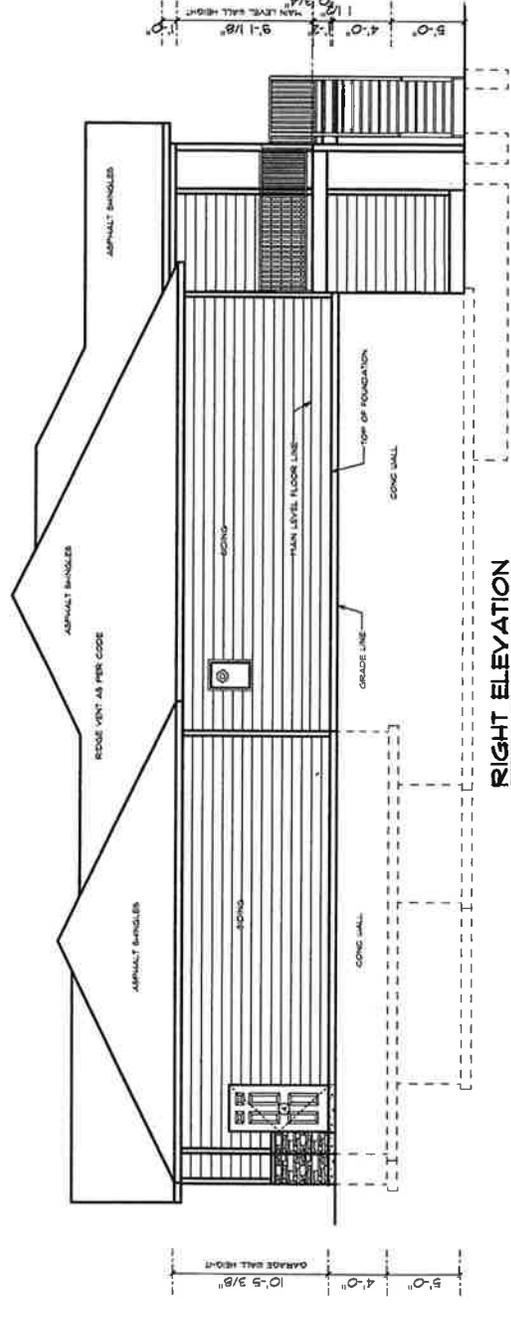
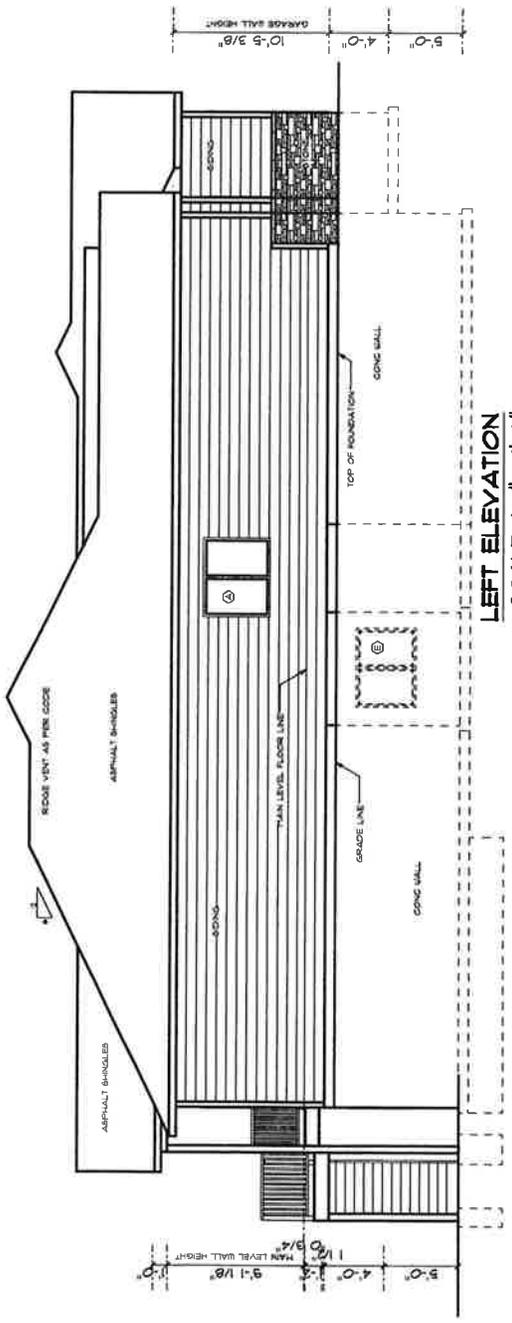


# PRELIMINARY PLANS 060719

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**ZIEMANN & SON'S CONSTRUCTION**  
 270-168TH RD PLEASANT DALE, NE 68423  
 DESIGN (402) 440-5996..... CH16

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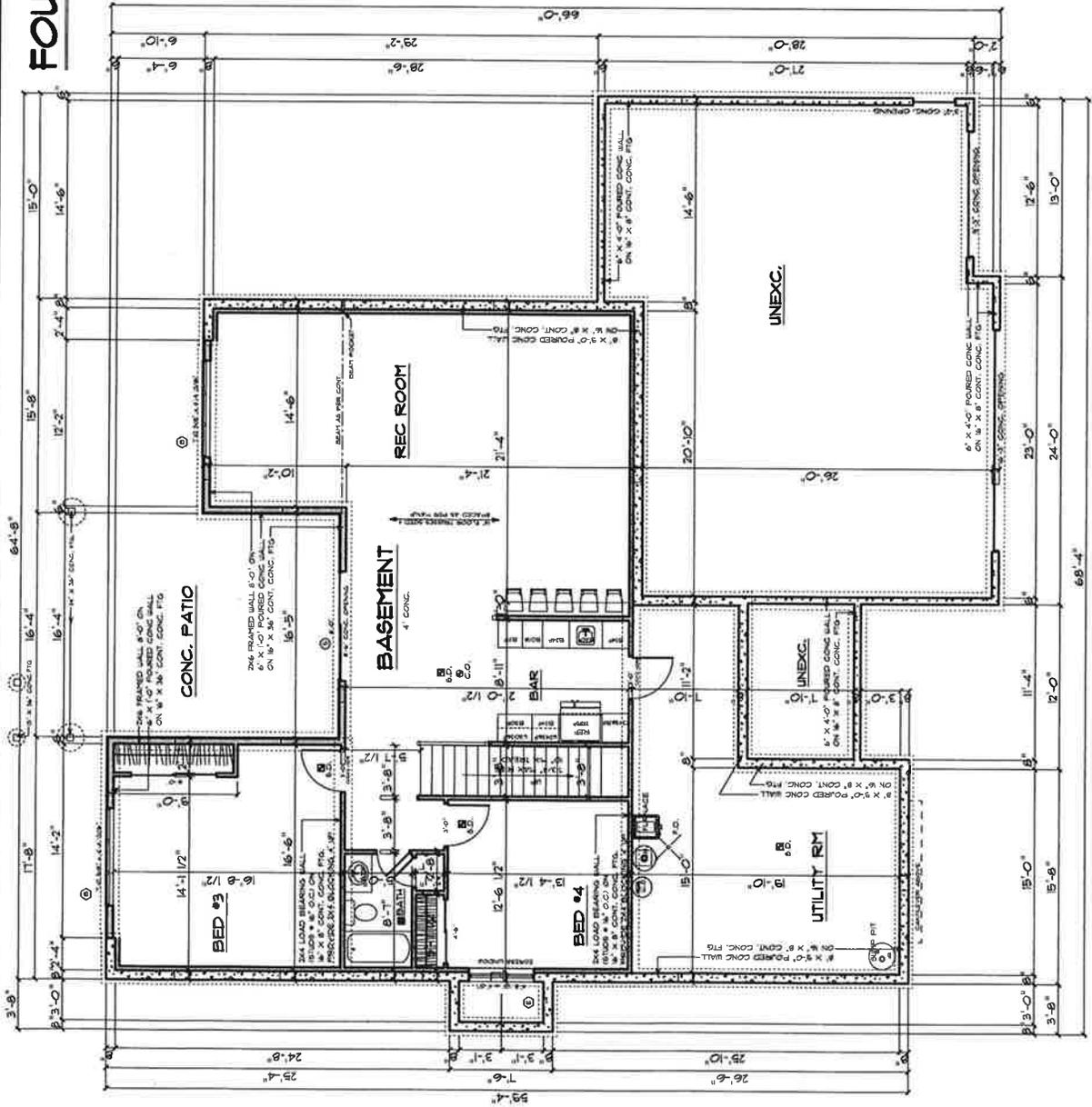
WEHENKEL RES. 060719  
 DRAWN BY: CHRIS ZIEMANN  
 DATE: JUNE 2019  
 PAGE 2



# FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

NOTE:  
8'-0" FOUNDATION  
WALL PRESENT



# PRELIMINARY PLANS 060719

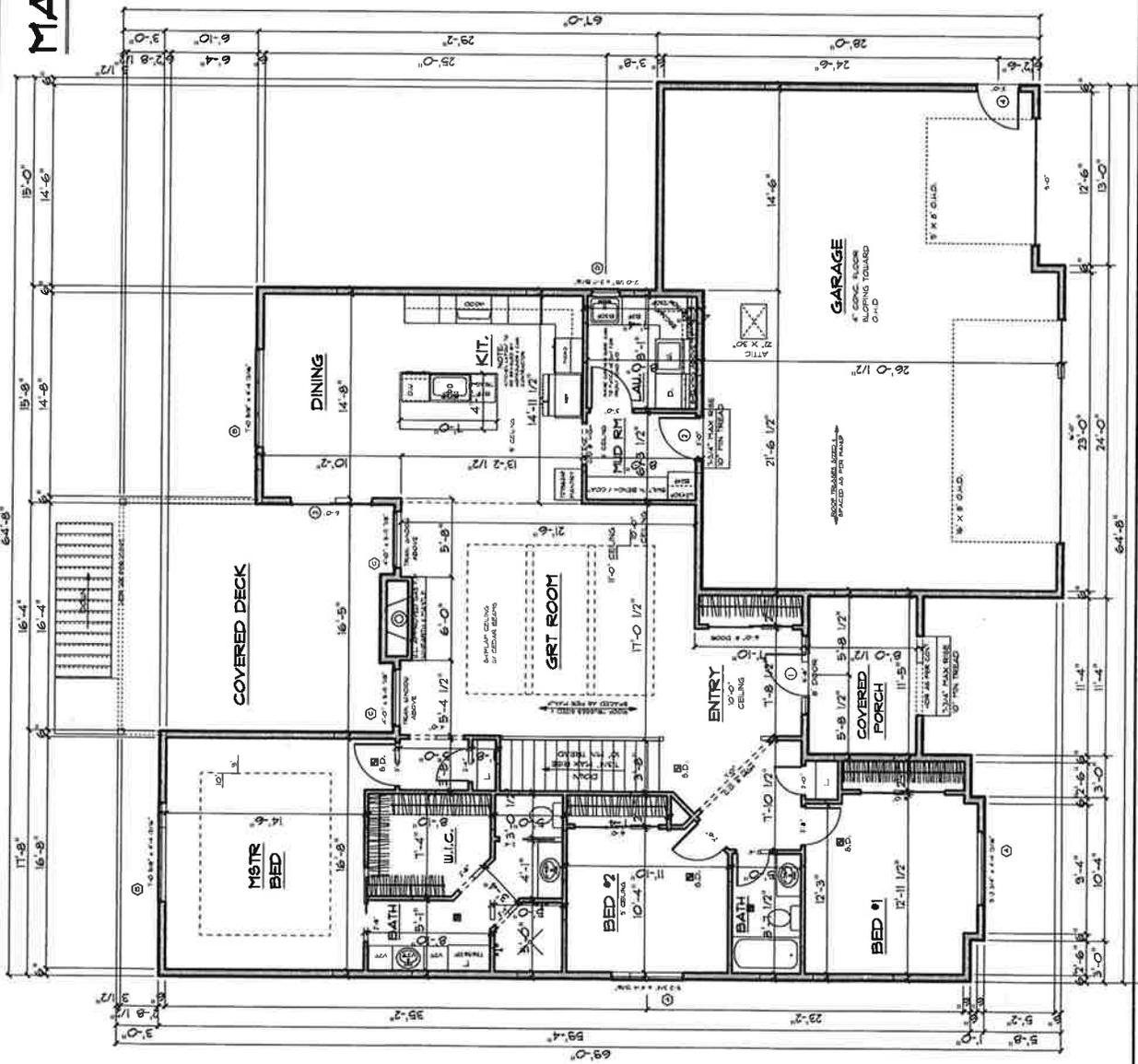
DESIGNED BY:  
**ZIEMANN & SON'S CONSTRUCTION**  
 DESIGN (402) 440-5996..... CH'18  
 270-168TH RD PLEASANT DALE, NE 68423

DESIGNER IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A CONSTRUCTION PROFESSIONAL BECAUSE THE ABILITY OF THESE PLANS FOR USE ON YOUR SPECIFIC SITE, CONSULT YOUR CONSTRUCTION PROFESSIONAL TO DETERMINE THE SUITABILITY OF THESE PLANS FOR YOUR SPECIFIC SITE AND APPLICATIONS.

# MAIN FLOOR PLAN

SCALE: 1/8" = 1'-0"  
 MAIN LEVEL: 2004 SQ.FT.  
 GARAGE: 1003 SQ.FT.

NOTE:  
 9'-11/2" MAX. USE OF MAIN FLOOR  
 WALL HEIGHT



# PRELIMINARY PLANS 060719

DESIGNED BY:  
**ZIEMANN & SON'S CONSTRUCTION**  
 270-166TH RD PLEASANT DALE, NE 68423  
 DESIGN (402) 440-5996..... CH18

DESIGNER IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A PROFESSIONAL ENGINEER OR ARCHITECT. THE ABILITY OF THESE PLANS FOR USE ON YOUR SPECIFIC SITE, CONSULT YOUR CONSTRUCTION PROFESSIONAL TO DETERMINE THE SUITABILITY OF THESE PLANS FOR YOUR SPECIFIC SITE AND APPLICATIONS.

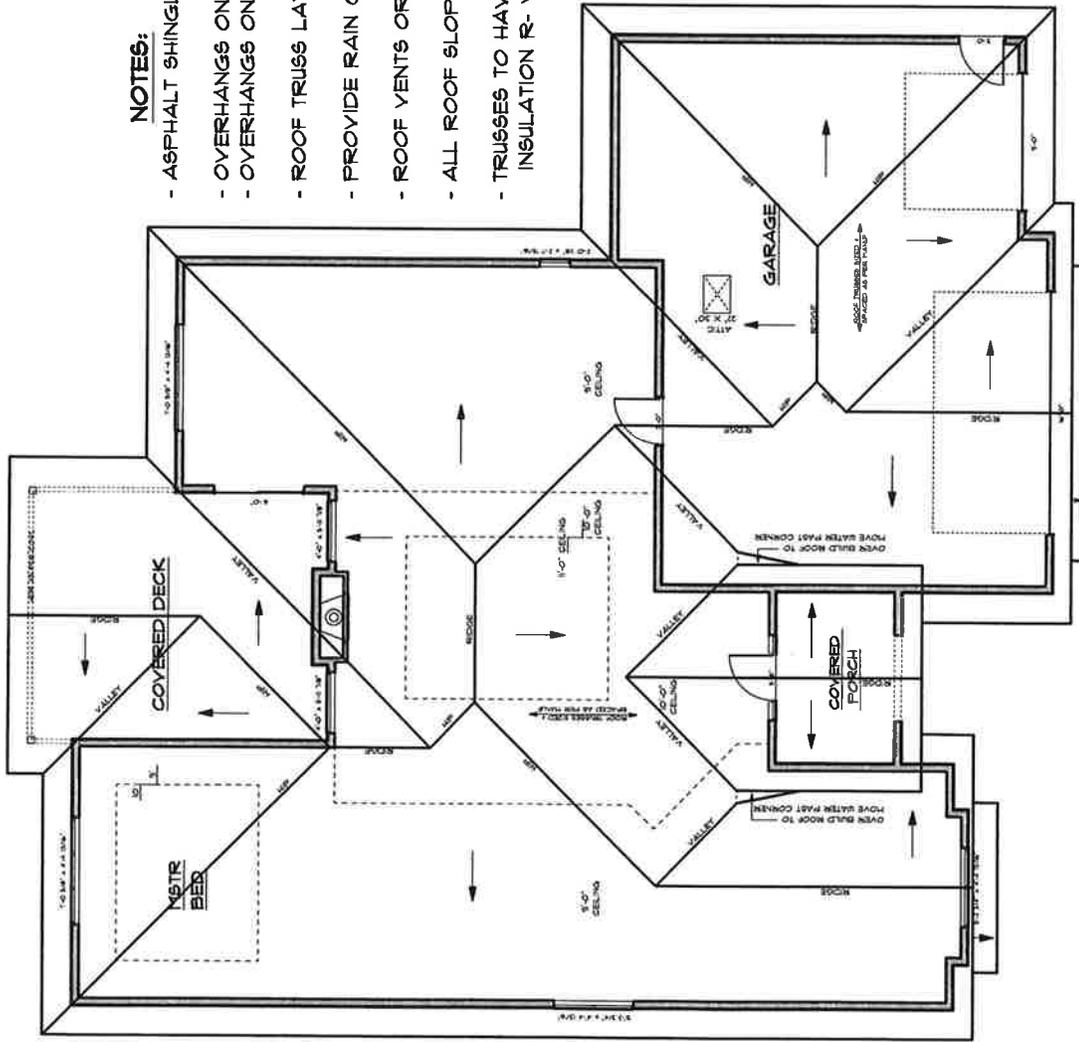
# ROOF PLAN

SCALE: 1/8" = 1'-0"

NOTE:  
8'-1 1/2" x 8'-1 1/2" MAIN FLOOR  
WALL HEIGHT

## NOTES:

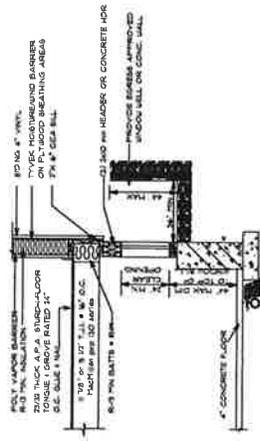
- ASPHALT SHINGLES ON ALL ROOF SURFACES
- OVERHANGS ON HIPPS 24"
- OVERHANGS ON GABLES 16"
- ROOF TRUSS LAYOUT AS PER MANUF.
- PROVIDE RAIN GUTTERS AS NEEDED
- ROOF VENTS OR RIDGE VENT AS PER CODE
- ALL ROOF SLOPES 6/12
- TRUSSES TO HAVE RAISED HEEL FOR INSULATION R- VALUE



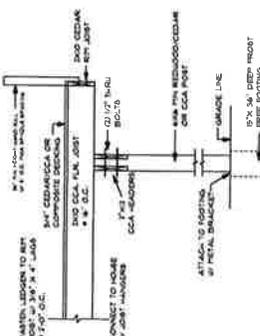
DESIGNED BY:  
ZIEMANN & SON'S CONSTRUCTION  
270-168TH RD PLEASANT DALE, NE 68423  
DESIGN (402) 440-5996..... CH16

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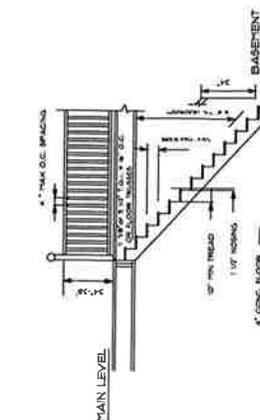
# PRELIMINARY PLANS 060719



**TYPICAL EGRESS WINDOW WELL DETAIL**  
SCALE: N.T.S.



**TYPICAL DECK POST DETAIL**  
SCALE: N.T.S.



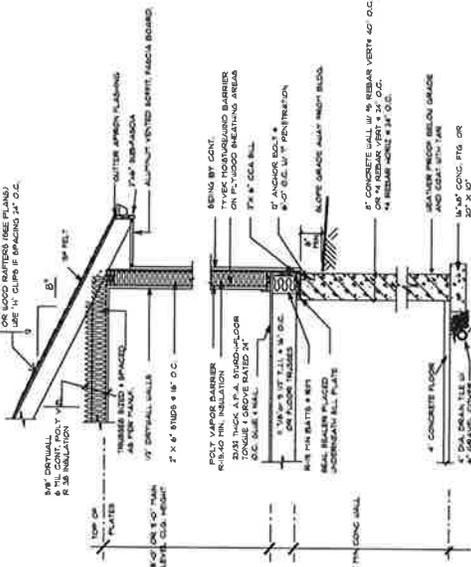
**TYPICAL STAIR DETAIL**  
SCALE: N.T.S.

**NOTES FOR EGRESS WINDOW:**

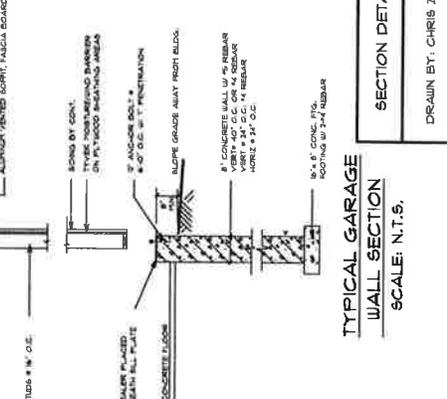
- EACH SLEEPING ROOM BELOW GRADE SHALL HAVE ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE. THE WINDOW OR DOOR SHALL BE LOCATED INSIDE TO PROVIDE A CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS.
- ALL ESCAPE WINDOWS SHALL HAVE A MINIMUM CLEAR OPENING OF 5.7 FT. THE MIN CLEAR OPENING HEIGHT SHALL BE 24". THE MIN CLEAR OPENING WIDTH OF 20" WILL NOT BEET THE 5.7 FOOT MINIMUM CLEAR OPENING. THE WIDTH OF THE WINDOW MUST EXCEED THE MIN. TOTAL EXTERIOR GLASS OPENING IN BEDROOMS MUST NOT BE LESS THAN 8 PERCENT OF THE 5.7 FT. IN THE ROOM WITH A MIN. OF 9.5 FT. FOR NATURAL LIGHT. IF WINDOWS ARE PROVIDED AS ESCAPE OR RESCUE, THEY SHALL HAVE A FINISHED SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR.
- WINDOW WELL SPECS
  - THE HORIZONTAL DIMENSION SHALL ALLOW THE WINDOW TO BE FULLY OPENED AND PROVIDE A MINIMUM OPENING OF 9.5 FT. WITH A MINIMUM DIMENSION OF 36".
  - WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 44" SHALL BE EQUIPPED WITH AN OPERABLE LADDER. THE LADDER SHALL BE MADE OF 2x4 WOODEN FRAMING WITH A WINDOW IN THE FULLY OPEN POSITION. THE LADDER SHALL NOT ENDOURAGE INTO THE REQUIRED DIMENSION OF THE WINDOW WELL BY MORE THAN 6".
  - BARB, GRILLS, GRATES MAY BE INSTALLED ON ESCAPE WINDOWS AS LONG AS THE DEVICES ARE EQUIPPED WITH APPROVED RELEASE MECHANISMS WHICH ARE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR OTHER LOCKING DEVICES.

WINDOW / DOOR SCHEDULE								
KEY NO.	ID.#	LOCATION	MANUF.	R.O.	D.L.O. SQ.FT.	STYLE	HDR.	NOTES:
A	2	BED #12						
B	4	MBTR. DINING, BASEMENT						
C	2	GRT ROOM						
D	1	L.A.U.						
E	1	BASEMENT						
F	1							
G	1							
H	1							
I	1							
J	1							
K	1							
1	1	ENTRY						SIDELITES
2	1	GARAGE/HOME						
3	1	DECK						
4	1	GARAGE						
5	1	BASEMENT						

**TYPICAL WALL SECTION**  
SCALE: N.T.S.



**TYPICAL GARAGE WALL SECTION**  
SCALE: N.T.S.



**WALK OUT BASEMENT SECTION**  
SCALE: N.T.S.



DESIGNER IS NOT AN ARCHITECT OR ENGINEER AND CONSTRUCTION FROM THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A CONSTRUCTION PROFESSIONAL. BECAUSE THE NATURE OF THESE PLANS VARY, DESIGNER DOES NOT WARRANT THE ACCURACY OR THE PLANS FOR YOUR SPECIFIC SITE. CONSULT YOUR ARCHITECT OR ENGINEER FOR YOUR SPECIFIC SITE AND APPLICATIONS OF THESE PLANS FOR YOUR SPECIFIC SITE AND APPLICATIONS.

ZIEMANN & SONS CONSTRUCTION  
270 168TH PLEASANT DALE, NE 68423  
(402) 440-5996

SECTION DETAILS

DRAWN BY: CHRIS ZIEMANN

ORDINANCE NO. -20  
OF THE CITY OF AUBURN, NEMAHA COUNTY, NEBRASKA

AN ORDINANCE TO APPROVE "NO SWIMMING/NO LOITERING/KEEP OUT" SIGN(S) FOR THE CREEK AROUND THE NORTH/EAST BOUNDARIES OF THE CITY RECREATION COMPLEX; AND PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, concerns have arisen of the gathering, swimming, and playing (primarily of unsupervised minors) in the creek and in and about the creek walls located around the North/East boundaries of the City Recreation Complex.

**WHEREAS**, this activity appears to be a limited, but unnecessary safety risk for these unsupervised minors, as well as, affecting the natural habitat of the creek and the City's maintenance of the area against further erosion.

**WHEREAS**, the proposed signs will serve an appropriate purpose as stated herein for the welfare of the public, maintenance of City property, and protecting the natural habitat in and around the City Rec Complex.

**BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF AUBURN, NEBRASKA;**

SECTION 1. That "NO SWIMMING/NO LOITERING/KEEP OUT" signs shall be installed where deemed appropriate at the City Recreation Complex for the purposes stated herein above, as well, as the benefit of the community and its residents.

SECTION 2. The Mayor is hereby authorized to okay sign location and content and to sign any necessary documents or take further action on behalf of the City of Auburn, NE, in carrying out the provisions of this Ordinance.

SECTION 3. All violators shall be deemed guilty of an offense and, upon conviction thereof, they shall be fined in any sum not exceeding \$500. "A new violation shall be deemed to have been committed every 24 hours of failure to comply with the provisions of this code." See City Code § 10.99.

SECTION 4. This Ordinance shall be in full force and effect from and after its passage, approval, and publication according to law.

Passed and Approved this 8<sup>th</sup> day of June, 2020.

---

R. Daniel White, Mayor  
City of Auburn, Nebraska

ATTEST:

---

Sherry Heskett, Municipal Clerk  
of the City of Auburn, Nebraska

(Seal)

Southeast Nebraska Development District  
 Lincoln, NE 68521

# Invoice

AGENDA ITEM  
 NO 23 & 24

Date	Invoice #
7/1/2020	Dues

Bill To

City of Auburn  
 1101 J Street  
 Auburn, NE 68305

Terms	Due Date
Net 60	8/30/2020

Item	Description	Project	Qty	Rate	Amount
Membership	07/01/2020-06/30/2021	70-01 Mem...		2,125.00	2,125.00

Total	\$2,125.00
Payments/Credits	\$0.00
Balance Due	\$2,125.00

\*\* Please include Project Number (example 60-07) on check \*\*

Hourly rate established by SENDD Board of Directors.

Phone #
402-475-2560

E-mail	Web Site
kpham@sendd.org	www.sendd.org

Southeast Nebraska Development District  
 Lincoln, NE 68521

# Invoice

Date	Invoice #
7/1/2020	Dues

Bill To

City of Auburn  
 1101 J Street  
 Auburn, NE 68305

Terms	Due Date
Net 60	8/30/2020

Item	Description	Project	Qty	Rate	Amount
Housing	07/01/2020-06/30/2021	70-02 Housi...		1,038.00	1,038.00

\*\* Please include Project Number (example 60-07) on check \*\*

Hourly rate established by SENDD Board of Directors.

Total	\$1,038.00
Payments/Credits	\$0.00
Balance Due	\$1,038.00

Phone #
402-475-2560

E-mail	Web Site
kpham@sendd.org	www.sendd.org

# SEND D

## Southeast Nebraska Development District

The Southeast Nebraska Development District (SEND D) board and staff would like to thank you for your continued support. SEND D is your regional community and economic development organization. The last two years have been difficult for Nebraska and our region. With 2019 floods and the 2020 pandemic, many communities are truly struggling. SEND D staff is listening to your needs and working diligently to find resources to help.

SEND D staff completed a variety of community and regional projects in the past year, as well as launching critical new initiatives to improve the economic vitality and quality of life for residents of southeast Nebraska. This upcoming year we are making a renewed commitment to support the region. Anticipated 2021 projects include transportation improvements, rural housing, public safety, disaster response, small business financing, and incorporating technology into our services.

Last year, SEND D staff spent more time on the ground in the region, listening to community leaders and learning how we can better serve you. We attended city council, village board, public, and county meetings across southeast Nebraska. As a result, the agency successfully captured **\$9.8 million in state and federal funds** that resulted in over \$16.4 million invested in local projects. These dollars **improved 140 homes, provided nuisance abatement for five communities, offered low-interest financing for five workforce housing units, assisted 19 businesses and created/retained 26 jobs.**

The only way these activities can continue is through your membership, which has remained steady for the **last 14 years**. Membership dollars provide match for federal and state funded agency services, resulting in a **48:1 dollar return on investment**. In 2019-2020, your assessment dollars helped return nearly **\$10 million of your federal tax dollars** back into the region.

Not only our region, but the entire state of Nebraska faces daunting challenges in the upcoming year. SEND D will be there to help. We pledge to be by your side in these difficult times, and we look forward to making an impact across the region by growing our regional economy, identifying new opportunities, and building local wealth. Above all, we will continue to listen. For up-to-date information on grant programs, community and legislative updates, and news alerts, please go to our new website at [www.sendd.org](http://www.sendd.org), sign up for our e-newsletter, or "Like" our Facebook page.

Once again, thank you for your support, and know that SEND D is here to help. As always, I want to extend an open invitation to all members: please, visit the SEND D offices when you are in Humboldt or Lincoln, or call and schedule a time for us to attend your city council or county supervisor meeting. So we can better serve you now and in the future, I encourage you to call our staff with your ideas, suggestions, and thoughts.

We are here to serve you and look forward to your next visit.

Sincerely,

Tom Bliss  
Executive Director

**Lincoln Office**  
2100 Fletcher Ave, Ste 100  
Lincoln, NE 68521-5862  
(402) 475-2560

[www.sendd.org](http://www.sendd.org)

**Humboldt Office**  
PO Box 308  
Humboldt, NE 68376  
(402) 862-2201

# Membership Dues Programs

## FULL MEMBERSHIP DUES PROGRAM

**Full Municipal Membership** includes any municipality paying the membership dues assessment established by the SENDD Board of Directors and located within a dues paying county.

Services available to a Full Member include, but are not necessarily limited to, the following:

- Monthly newsletter
- Special notices regarding programs of interest
- Unlimited visits to discuss requirements of specific programs
- Assistance with grant and loan applications, generally at no cost
- Special studies associated with grant and loan applications
- Census data and special reports maintained by SENDD
- Labor/Workforce data maintained by SENDD
- Staff consultation on specific employment generating projects

## GENERAL MEMBERSHIP DUES PROGRAM

**General Municipal Membership** includes any municipality which is not a dues paying member itself but is located within a county that is paying membership dues.

Services available to a General Member include, but are not necessarily limited to, the following:

- Monthly newsletter
- Special notices regarding programs of interest
- Limited visits to discuss requirements of specific programs

## SENDD MEMBERSHIP SURCHARGES

**To be entitled to Full Membership services, dues need to be paid by October 31 of each Fiscal Year or be assessed a surcharge for services requested of, and provided by, SENDD.**

To be entitled to Full Membership services with no surcharge, a municipality needs to have been a dues paying member for three years prior to the year in which services are requested and must have paid the current year's dues prior to October 31 in the year services were requested.

If there has been an interruption in Full Membership status, the following special assessment schedule will apply:

1. If membership dues were not paid during any of the prior three years, services would be provided only if the requesting municipality agrees to pay the current year's membership dues plus a surcharge equaling 75% of ACTUAL costs incurred in the provision of the requested service(s).
2. If membership dues were paid in one of the prior three years, services will be provided only if the requesting municipality agrees to pay the current year's membership dues plus a surcharge equaling 50% of ACTUAL costs incurred in the provision of the requested service(s).
3. If membership dues were paid two of the prior three years, services will be provided only if the requesting municipality agrees to pay the current year's membership dues plus a surcharge equaling 25% of ACTUAL costs incurred in the provision of the requested service(s).

### Lincoln Office

2100 Fletcher Ave, Ste 100  
Lincoln, NE 68521-5862  
(402) 475-2560

[www.sendd.org](http://www.sendd.org)

### Humboldt Office

PO Box 308  
Humboldt, NE 68376  
(402) 862-2201

# SEND D Services & Programs

SEND D staff have varied professional backgrounds, experience, and education. We're capable of providing assistance in a wide range of areas customized to your community's needs.

## Grant/Loan Application Development & Administration

### USDA & Rural Development

Community facilities grants/loans, industrial development, business loans, multi-family housing, singly family housing loans

### Nebraska Department of Economic Development

Owner Occupied Rehabilitation, Public Works, Planning, Tourism Development, Purchase Rehab Resale Program, Youth Job Training, Emergent Threat, Water/Wastewater, CDAA Tax Credit Program, Civic and Community Center Financing Fund, Downtown Revitalization, Economic Development

### Nebraska Department of Environmental Quality

Recycling/waste disposal grant programs, deconstruction grant program

### Nebraska Department of Transportation

Economic Opportunity Program

### Economic Development Administration

Special planning and public works grants associated with job generation

### Nebraska Game and Parks Commission

Parks and recreation grants

### Environmental Protection Agency

Special planning grants for sustainable growth

### Foundation Proposals

SEND D maintains information on foundations with funding opportunities that may be of interest to member communities.

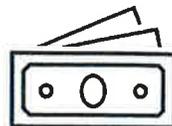
In the last year, SEND D has successfully assisted 71 projects through grant or loan applications representing over \$16,000,000 invested in our communities.

## Return on Investment



Over the last 5 years, SEND D has generated a return on investment of ~\$48 for every \$1 in membership dues

In the past decade, SEND D has assisted members to leverage more than \$226,361,000 in private investment for economic development initiatives that support job creation and retention efforts.



In the past decade, SEND D has been involved in local projects that have retained over 670 jobs and created over 1,031 new jobs

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# Expansion of Employment Opportunities

Examples of some of the sources of employment enhancing programs utilized including, but not limited to:

## CDBG-ED & TD

SENDD has assisted with over 70 different successful applications for projects under the Community Development Block Grant Economic Development and Tourism Development categories. The Economic Development category provides loans to businesses or can be used for infrastructure construction projects directly related to economic development. Tourism Development assists historical assets and sites with restorations, ADA accessibility, and a variety of other needs for sites averaging at least 2500 visitors annually.

## Local Revolving Loan Funds (RLFs)

In many instances where grant awards have been received from the CDBG Economic Development category for small business projects, grantee political subdivisions are allowed to recapture all, or a portion of, principal and interest payments made by the small businesses who are the ultimate loan recipients. The principal and interest payments are then used by the grantee to establish Revolving Loan Funds to finance future business development efforts. Nine political subdivisions have established individual or multi-political subdivision RLFs and have entered into special services contracts with SENDD to administer their RLFs.

## Direct Lending Programs

SENDD operates two direct lending programs from revolving loan funds which have been capitalized with program income and grants and loans from the USDA Rural Business Enterprise Grant Program and USDA Intermediary Relending Program. Loans totaled over \$2.2 million and leveraged over \$3.4 million from other sources. Lending activities have retained or created nearly 100 jobs.

## EDA Financing Programs

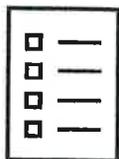
SENDD has successfully accessed project funding to support its economic development efforts from the US Department of Commerce, Economic Development Administration. Recently, SENDD secured EDA funds for a \$3,000,000 project in Jefferson County.

“The Seward County Chamber & Development Partnership has appreciated the opportunity to partner with SENDD for multiple development projects across Seward County. We’ve been impressed with their hands-on approach...We’re grateful for their hard work and look forward to future projects together.” -Jonathan Jank

## Special Studies and Plans

SENDD has experience in additional areas, including:

- Housing Needs Plans
- Housing Conditions Studies
- Household Income Studies
- Community Needs Assessment Surveys
- Workforce Availability Studies
- Project Specific Environmental Reviews



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# Member Services

SENDD seeks to grow the region's economy.

By participating in regional efforts, widening our network, broadening our services, and exploring innovative ideas we immerse ourselves in southeast Nebraska.

## Housing



Owner Occupied Rehabilitation (OOR)

- Stabilizes existing housing stock

Purchase Rehab Resale (PRR)

Nuisance Abatement Program

- Civil/educational code enforcement

Down Payment Assistance Loans

General Contracting Services

Housing Needs Plans

Housing Conditions Studies

Lead-based Paint Inspections

- Clearance activities required by HUD



## Emergency/Disaster Relief

Business Resiliency Workshops

- Knowledge and skills to mitigate and protect businesses from disasters

Flood and Floodplain Management

- Assist communities to meet National Flood Insurance Program (NFIP) guidelines
- Potential insurance premium discount for Community Rating System communities

Funding

- Nebraska Emergency Management Agency (NEMA)
- United States Department of Agriculture (USDA)
- Federal Emergency Management Agency (FEMA)



## Community Development

Community Development Block Grant

- Application, planning, administration
- Downtown Revitalization, Economic Development, Planning, Public Works, Water/Wastewater, Tourism, Emergent Threat, Youth Job Training

Community & Civic Center Financing

Economic Development & Leadership Certified Community

Household Income Studies

Community Needs Assessment

Workforce Availability Studies

Project Specific Environmental Review

Strategic Planning



## Economic Development

Revolving Loan Fund

- Financial tool designed to increase economic activity, community development, and create job opportunities in rural communities.
- Fixed interest rate between 4-6%

GIS Mapping/Location Intelligence

- Support businesses and communities with analytical decision making
- Custom asset/infrastructure mapping
- Business competition mapping and analysis
- Market reports/analysis

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# Housing Services

## Voluntary Housing Dues

The Housing Dues assessment was established by SENDD in 2003 and payment of the assessment is voluntary. The voluntary assessment was established in lieu of increasing General Membership dues.

Dues are used to cover costs specifically associated with housing. These include:

- Training for staff members in housing grant application development
- Training on changing regulations related to Federal/State funding for housing programs
- State certifications involving lead-based paint and clearance testing
- Assistance to member communities with applications to partially underwrite the cost of housing needs studies; assistance to communities and private developers with packaging grant and loan applications
- Ongoing expenses related to housing projects after the project is closed and grant funds are depleted

## Types of Housing Programs

- Rehabilitation programs for income-qualified owner-occupied residential units
- Down-payment assistance programs to aide income-qualified homebuyers with acquisition
- Purchase/Rehab/Resale programs which may be coupled with down-payment assistance
- Construction of rent-to-own, single-family residential units
- Financial packaging assistance to developers of single and multi-family residential units for income-qualified occupants

In the past year, the SENDD Housing team has worked on:

- 75 Owner-Occupied Rehab Projects
- 7 Purchase/Rehab/Resale Projects
- 5 Rural Workforce Housing Projects
- 13 Home Projects through SENDD Contracting



Contact SENDD Housing in the Lincoln Office for more information on both housing programs and SENDD Contracting services

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*"If you get the chance to work with SENDD Contracting, take it. People pass my house and it looks like a new house. I am so proud of my house and the way it looks after the improvement made by SENDD Contracting, it adds value and curb appeal to the neighborhood." -Delila Snodgrass, Fairmont*



## The Team

Jim Warrelmann, Division Manager  
Jake Valentine, Project Manager  
Jarett Maxson, Project Manager  
Ashley Larsen, Project Manager

Each team member is:

- Certified Lead Inspectors/Risk Assessors by the State of Nebraska
- Certified HQS Inspectors through Nan McKay & Associates
- Certified Residential Roof Inspectors through HAAG Engineering



Contact us today for a FREE estimate

(402) 475-2560 (phone)

(402) 475-2794 (fax)

[senddcontracting@sendd.org](mailto:senddcontracting@sendd.org)

[Sendd.org](http://Sendd.org)





# SEND D Contracting

Based out of Lincoln, Nebraska, SEND D Contracting is an insured, licensed, and State-registered contractor with a 25-year history in general contracting, project management, and exterior improvement. To date, we have successfully managed over 1,200 residential and commercial construction projects. Our primary specialties are in roofing, gutter, windows, and siding installation.

Outside of general contracting services, our team is certified to provide lead inspections and risk assessments, Housing Quality Standards (HQS) inspections, and residential roof inspections.

We are proud to offer our services to the entire southeastern Nebraska region, including the Omaha metro area. Our team is responsive, reliable, and ready to help bring your projects to life!



# Our Services

## Roofing

Damaged gutters can cause significant flooding and water damage to your home. We provide gutter inspection and replacement to protect you from costly repairs due to faulty gutters. Our team will work closely with you to ensure you understand the entire process. We use only the best materials from top manufacturers to ensure your satisfaction.

## Roofing

Our installers and inspectors stay up-to-date on the latest roofing techniques and training. Age and damage are the two leading causes of needing a new roof. If you notice missing, curled, or weathered shingles, leaks, or excessive granular loss, you may need a new roof. We pride ourselves on prompt and efficient repairs and installations.

SEND D Contracting provides comprehensive roof inspections, which include identifying and documenting, as well as recommending and executing repairs, to ensure your roof is in optimal condition and to extend its lifespan.

## Siding

Add curb appeal while increasing property value with new siding services by SEND D Contracting. We offer a low-maintenance siding solution that increases energy efficiency and reduces ongoing expensive maintenance costs. We specialize in both vinyl and wood siding installation and repair. Our experienced installers will provide prompt, courteous, and efficient installation to provide a lifetime of protection against extreme weather conditions.

## Windows

If your windows are more than 15 years old, it is time to consider replacing them. With more energy efficient windows, you can see substantial savings on your energy bills while maintaining a comfortable interior temperature during extreme weather. SEND D Contracting installs and replaces broken or old windows with limited interruptions to your busy schedule. We only install top products from high-profile manufacturers to ensure your new windows are affordable, energy-efficient, beautiful, and practical.

## Soffit & Fascia

Whether it is a new construction or you are looking to upgrade or repair your existing home exterior, we have several soffit and fascia options and colors to meet your needs.



AGENDA ITEM

NO

26

# Auburn Memorial Library

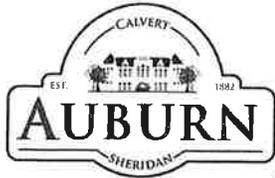
1810 Courthouse Ave  
Auburn, NE 68305

## City Council Report July 2020

- We have one month under our belts of being back open. Things have run smoothly. We are still offering curbside to any and all that would like it. Items are still being quarantined and disinfected. If things continue in a good direction, I am hoping to be able to open up more and offer more services in August.
- Summer Reading and Youth Adventure both end on July 18<sup>th</sup>. Numbers are definitely down this year, but those that have participated have done great!

### Statistical Report:

<u>Date:</u>	<u>Circulation:</u>	<u>Patrons:</u>	<u>Money to City:</u>
June	3,004	1,148	\$272.15
OverDrive	<u>418</u>	<u>71</u>	
	3,422	1,219	
May	1,745	688	
OverDrive	<u>477</u>	<u>75</u>	
	2,222	763	



AGENDA ITEM

NO

26

July 13, 2020

## City of Auburn

1101 J Street  
Auburn, Nebraska 68305

402-274-3420  
402-274-4154 fax  
www.auburn.ne.gov

### MAYOR

Dan White

### COUNCIL MEMBERS

Katy Billings

Shawn Clark

Tom Clark

Chris Erickson

Rick Janssen

Jeff Jeanneret

## Street Department Activity Report (June 2020)

- Appliance and Furniture Recycle Lot – 5 times
- Brush Lot – 5 times
- Burned brush lot – 4 times
- Wind storm – picked up branches in the street and parks; one tree was down in the city right of way
- Worked on equipment at city shop
- Garbage run at Parks/Rec Complex/business area weekly
- Cleaned storm drains
- Swept streets around town
- Graded alleys and rock alleys (landowners paid for rock)
- Worked at rec complex hauling rip rap north of RV campground on the creek bank
- Worked at the Pool (COVID-19)
- Caution time on all bleachers and benches in all the parks (COVID-19)
- Put of safety fence around all playgrounds (COVID-19)
- Filled potholes around town
- Moved office equipment in city hall and remodeled shelving in city hall storage room
- Sprayed weeds in Parks and Rec Complex

Harry Bridgmon  
Street Commissioner



EQUAL HOUSING OPPORTUNITY



# AGENDA ITEM NO. 26

Budget Reports Submitted by City Treasurer  
Receipts by Department

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

**PCT OF FISCAL YTD 75.0%**

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
01-00-3100	GEN FEDERAL REVENUES	129,260.00				129,260.00
01-00-3200	GEN STATE EQUALIZATION	326,714.89	185,630.11	280,517.84	85.86	46,197.05
01-00-3202	GEN STATE	38,050.00		14,050.00	36.93	24,000.00
01-00-3203	GEN MTR VEHICLE PRORATE	1,300.00		1,197.02	92.08	102.98
01-00-3204	GEN STATE MISC/AID	1,000.00		1,095.00	109.50	95.00-
01-00-3205	GEN WORKFORCE HOUSING	255,000.00				255,000.00
01-00-3208	GEN STATE HOMESTEAD	25,000.00	5,431.80	21,617.64	86.47	3,382.36
01-00-3301	GEN LICENSES & PERMITS	13,000.00	620.00	10,185.00	78.35	2,815.00
01-00-3306	GEN REIM/REFUNDS	41,483.29	625.00	4,612.88	11.12	36,870.41
01-00-3310	GEN FRANCHISE FEES	60,000.00	1,250.31	54,495.39	90.83	5,504.61
01-00-3312	GEN BPW REVENUE PAYMENT	113,000.00		70,279.67	62.19	42,720.33
01-00-3314	GEN ST LIC AND CITY FINES	4,000.00		3,390.00	84.75	610.00
01-00-3325	GEN TICKET SALES	46,000.00	1,028.00	1,308.00	2.84	44,692.00
01-00-3326	GEN CONCESSIONS	12,000.00				12,000.00
01-00-3327	GEN LESSONS	10,000.00				10,000.00
01-00-3331	GEN REIM WEST WATERLINE	27,750.00		13,447.21	48.46	14,302.79
01-00-3332	GEN SALE OF MUNI PROPERTY	10,000.00	25.20	288.20	2.88	9,711.80
01-00-3335	GEN CITY SALES TAX	350,000.00	35,204.44	320,061.29	91.45	29,938.71
01-00-3340	GEN INTEREST	2,500.00	135.82	1,287.63	51.51	1,212.37
01-00-3342	GEN PROGRAM & USE FEES	14,300.00	1,449.00	6,987.10	48.86	7,312.90
01-00-3350	GEN MFO	12,724.42		12,724.42	100.00	
01-00-3351	GEN PROPERTY TAXES	622,526.21	65,239.80	476,614.41	76.56	145,911.80
01-00-3352	GEN MTR VEHICLE TAXES	75,000.00	6,649.77	59,950.60	79.93	15,049.40
01-00-3359	GEN CO TREAS OTHER	130.00		78.74	60.57	51.26
01-00-3360	GEN MISC REVENUES	8,000.00	262.60	3,360.35	42.00	4,639.65
01-00-3361	FIRE PROPERTY TAXES	50,012.25	5,245.43	38,320.95	76.62	11,691.30
01-00-3363	FIRE MTR VEHICLE PRORATE	100.00		96.24	96.24	3.76
01-00-3368	FIRE STATE HOMESTEAD	2,050.00	436.73	1,738.11	84.79	311.89
01-00-3369	FIRE CO TREAS OTHER	10.00		6.33	63.30	3.67
	DIFFERENCE	2,250,911.06	309,234.01	1,397,710.02	62.10	853,201.04
	PROOF	2,250,911.06	309,234.01	1,397,710.02	62.10	853,201.04

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

PCT OF FISCAL YTD 75.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
03-00-3201	STREET HIGHWAY ALLOCATION	426,487.00	27,958.18	315,616.47	74.00	110,870.53
03-00-3202	STREET STATE MOTOR VEHICLE FEE	31,500.00		24,013.59	76.23	7,486.41
03-00-3206	INCENTIVE PAYMENT	4,000.00		4,000.00	100.00	
03-00-3306	STREET REIM/REFUNDS			48.17		48.17-
03-00-3335	STREET CITY SALES TAX	50,000.00	2,732.99	49,100.57	98.20	899.43
	DIFFERENCE	511,987.00	30,691.17	392,778.80	76.72	119,208.20
	PROOF	511,987.00	30,691.17	392,778.80	76.72	119,208.20

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

PCT OF FISCAL YTD 75.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
04-00-3321	PAVING WATER SEWER	8,426.71		4,732.82	56.16	3,693.89
	DIFFERENCE	8,426.71		4,732.82	56.16	3,693.89
	PROOF	8,426.71		4,732.82	56.16	3,693.89

# AGENDA ITEM NO. 26

Budget Reports Submitted by City Treasurer  
Expenditures by Department

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

**PCT OF FISCAL YTD 75.0%**

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
01-00-4101	GEN SALARIES	152,609.20	13,258.80	116,150.53	76.11	36,458.67
01-00-4102	GEN HEALTH INSURANCE	40,392.00	147.05-	20,861.38	51.65	19,530.62
01-00-4103	GEN LIFE INSURANCE	1,200.00	86.86	780.50	65.04	419.50
01-00-4104	GEN PENSION PLAN	6,382.44	490.21	4,411.89	69.13	1,970.55
01-00-4105	GEN WORKMEN COMP	2,475.00		642.83	25.97	1,832.17
01-00-4108	GEN FLEX SPENDING PLAN	1,050.00	87.50	612.50	58.33	437.50
01-00-4111	GEN FICA MATCH	11,674.60	985.30	8,624.53	73.87	3,050.07
01-00-4201	GEN LEGAL EXPENSES	35,000.00	7,863.50	31,077.78	88.79	3,922.22
01-00-4202	GEN UTILITIES	11,500.00	821.25	8,325.65	72.40	3,174.35
01-00-4203	GEN INSURANCE	11,250.00		12,797.43	113.75	1,547.43-
01-00-4204	GEN MEMBERSHIPS/SUBSCRIP	9,000.00	45.00	356.61	3.96	8,643.39
01-00-4205	GEN MEETING EXPENSES	3,000.00		150.00	5.00	2,850.00
01-00-4206	GEN SERVICES	59,000.00	1,969.85	48,433.64	82.09	10,566.36
01-00-4208	GEN BLDG & GROUNDS MAINT	8,000.00		262.69	3.28	7,737.31
01-00-4209	GEN EQUIP & EQUIP MAINT	10,000.00	383.56	3,385.54	33.86	6,614.46
01-00-4217	GEN ECONOMIC DEVELOP	7,000.00		7,000.00	100.00	
01-00-4218	GEN STATUTES & REFERENCE	200.00		164.70	82.35	35.30
01-00-4223	GEN TREE PROGRAM	4,500.00	478.40	924.90	20.55	3,575.10
01-00-4230	GEN SALES TAX	200.00		41.47	20.74	158.53
01-00-4240	GEN REIM/REFUNDS		220.00	300.00		300.00-
01-00-4245	GEN ST LIC AND CITY FINES	4,000.00				4,000.00
01-00-4250	GEN SUPPLIES/MATERIALS	13,075.00	921.87	6,760.25	51.70	6,314.75
01-00-4299	GEN MISC EXPENSES	500.00		190.36	38.07	309.64
01-00-4400	GEN CAPITAL OUTLAYS	8,410.00		2,573.41	30.60	5,836.59
01-00-4700	CONTINGENCY/REIM	29,537.16				29,537.16
01-00-4800	GEN GRANT & SPECIAL PROJECTS	19,175.00	3,165.57	9,649.02	50.32	9,525.98
01-00-4801	CAPITAL IMPROVEMENTS	77,756.22				77,756.22
01-00-4810	HOUSING PROGRAMS	200,000.00	7,685.00	36,786.49	18.39	163,213.51
01-00-4900	COMPREHENSIVE PLAN UPDATE/HOUS	5,047.30		7,047.30	139.63	2,000.00-
01-00-4990	CREEK PROJECT	150,000.00				150,000.00
01-00-4999	TRANS FDS	25,000.00				25,000.00
	DIFFERENCE	906,933.92	38,315.62	328,311.40	36.20	578,622.52
	PROOF	906,933.92	38,315.62	328,311.40	36.20	578,622.52

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

**PCT OF FISCAL YTD 75.0%**

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
01-02-4206	POLICE SERVICES	358,000.00	29,000.00	256,500.00	71.65	101,500.00
	DIFFERENCE	358,000.00	29,000.00	256,500.00	71.65	101,500.00
	PROOF	358,000.00	29,000.00	256,500.00	71.65	101,500.00

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

**PCT OF FISCAL YTD 75.0%**

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
01-05-4101	FIRE DEPT SALARIES	6,250.00	520.84	4,687.56	75.00	1,562.44
01-05-4103	FIRE DEPT LIFE INS	2,100.00	182.13	1,641.10	78.15	458.90
01-05-4105	FIRE DEPT WORKMEN COMP	3,000.00		3,325.91	110.86	325.91-
01-05-4111	FIRE DEPT FICA MATCH	480.00	39.84	358.56	74.70	121.44
01-05-4202	FIRE DEPT UTILITIES	7,500.00	366.41	5,159.25	68.79	2,340.75
01-05-4203	FIRE DEPT INSURANCE	6,800.00		6,891.42	101.34	91.42-
01-05-4204	FIRE DEPT MEMBERS/SUB/RECOG	2,500.00				2,500.00
01-05-4205	FIRE DEPT MEETINGS/TRAININGS	2,000.00				2,000.00
01-05-4206	FIRE DEPT SERVICES	860.00	50.00	450.00	52.33	410.00
01-05-4208	FIRE DEPT BLDG & GROUNDS	3,000.00		1,198.23	39.94	1,801.77
01-05-4209	FIRE DEPT EQUIP/MAINT	10,000.00		1,897.79	18.98	8,102.21
01-05-4222	FIRE DEPT CHIEF EXPENSES	1,050.00				1,050.00
01-05-4250	FIRE DEPT SUPPLIES	2,200.00	13.28	602.01	27.36	1,597.99
01-05-4800	FIRE DEPT PAGERS	5,000.00		2,790.00	55.80	2,210.00
01-05-4801	BUNKER GEAR/SCBA	16,000.00		699.30	4.37	15,300.70
01-05-4802	FIRE HOSE	5,000.00				5,000.00
01-05-4850	FIRE DEPT FIRE HALL PROJECT		350.00	600.00		600.00-
	DIFFERENCE	73,740.00	1,522.50	30,301.13	41.09	43,438.87
	PROOF	73,740.00	1,522.50	30,301.13	41.09	43,438.87

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

PCT OF FISCAL YTD 75.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
01-07-4101	PARKS SALARIES	25,000.00	5,448.25	14,323.00	57.29	10,677.00
01-07-4105	PARKS WORKMEN COMP	3,500.00		2,117.09	60.49	1,382.91
01-07-4111	PARKS FICA MATCH	1,913.00	416.79	1,095.72	57.28	817.28
01-07-4202	PARKS UTILITIES	26,400.00	1,744.22	12,822.04	48.57	13,577.96
01-07-4203	PARKS INSURANCE	4,335.00		4,549.74	104.95	214.74-
01-07-4206	PARKS SERVICES	6,000.00	500.00	1,630.00	27.17	4,370.00
01-07-4208	PARKS BLDG & GROUNDS MAIN	16,000.00	2,073.19	9,995.63	62.47	6,004.37
01-07-4209	PARKS EQUIP & MAINT	4,500.00	187.80	2,584.29	57.43	1,915.71
01-07-4230	PARKS SALES TAX/LODGING	1,000.00		1,211.94	121.19	211.94-
01-07-4250	PARKS SUPPLIES & EQUIP	13,750.00	876.26	3,105.39	22.58	10,644.61
01-07-4299	PARKS MISC EXPENSES	500.00				500.00
01-07-4402	SHOWER BUILDING	100,000.00				100,000.00
01-07-4403	SANDVOLLEYBALL COURT	5,650.00		5,628.00	99.61	22.00
01-07-4404	OTHER	2,000.00				2,000.00
01-07-4899	PARKS PURCHASES REIMBURSED		2,304.90	2,304.90		2,304.90-
		=====	=====	=====	=====	=====
	DIFFERENCE	210,548.00	13,551.41	61,367.74	29.15	149,180.26
		=====	=====	=====	=====	=====
	PROOF	210,548.00	13,551.41	61,367.74	29.15	149,180.26
		=====	=====	=====	=====	=====

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

PCT OF FISCAL YTD 75.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
01-09-4202	SR CENTER UTILITIES	8,000.00	386.75	5,082.04	63.53	2,917.96
01-09-4203	SR CENTER INSURANCE	500.00		469.00	93.80	31.00
01-09-4206	SR CENTER SERVICES	2,500.00	125.00	1,531.38	61.26	968.62
01-09-4208	SR CENTER BLDG & GROUNDS	6,000.00	227.51	935.73	15.60	5,064.27
01-09-4209	SR CENTER EQUIP & MAINT	2,000.00		320.53	16.03	1,679.47
01-09-4250	SR CENTER SUPPLIES/MATER	300.00		35.75	11.92	264.25
	DIFFERENCE	19,300.00	739.26	8,374.43	43.39	10,925.57
	PROOF	19,300.00	739.26	8,374.43	43.39	10,925.57

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

**PCT OF FISCAL YTD 75.0%**

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
01-51-4101	LIBRARY SALARIES	91,771.68	7,561.26	65,415.73	71.28	26,355.95
01-51-4102	LIBRARY HEALTH INSURANCE	11,721.93	102.92-	5,929.40	50.58	5,792.53
01-51-4103	LIBRARY LIFE INSURANCE	400.00	29.59	266.31	66.58	133.69
01-51-4104	LIBRARY PENSION PLAN	3,557.86	305.07	2,636.11	74.09	921.75
01-51-4105	LIBRARY WORKMEN COMP	230.00				230.00
01-51-4111	LIBRARY FICA MATCH	7,020.53	565.14	4,884.66	69.58	2,135.87
01-51-4202	LIBRARY UTILITIES	11,500.00	511.98	7,142.84	62.11	4,357.16
01-51-4203	LIBRARY INSURANCE	4,200.00		4,526.21	107.77	326.21-
01-51-4204	LIBRARY MEMBERSHIPS/SUB	2,100.00	745.99	1,065.99	50.76	1,034.01
01-51-4205	LIBRARY MEETING EXPENSES	400.00				400.00
01-51-4206	LIBRARY SERVICES	11,000.00	417.24	7,356.96	66.88	3,643.04
01-51-4208	LIBRARY BLDG & GROUNDS	6,000.00	143.66	2,069.86	34.50	3,930.14
01-51-4209	LIBRARY EQUIP & MAINT	5,000.00		1,785.60	35.71	3,214.40
01-51-4228	LIBRARY BOOKS/AVS	21,000.00	1,582.29	14,741.04	70.20	6,258.96
01-51-4230	LIBRARY SALES TAX	60.00		24.75	41.25	35.25
01-51-4250	LIBRARY SUPPLIES/MATERIALS	6,000.00	445.93	2,319.19	38.65	3,680.81
01-51-4299	LIBRARY MISC EXPENSES	800.00		39.72	4.97	760.28
	DIFFERENCE	182,762.00	12,205.23	120,204.37	65.77	62,557.63
	PROOF	182,762.00	12,205.23	120,204.37	65.77	62,557.63

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

**PCT OF FISCAL YTD 75.0%**

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
01-52-4101	SWIM POOL SALARIES	68,350.00	6,965.76	6,965.76	10.19	61,384.24
01-52-4105	SWIM POOL WORKMEN COMP	4,500.00		2,562.85	56.95	1,937.15
01-52-4107	SWIM POOL TRAINING/CERTIFICATE	4,500.00		885.00	19.67	3,615.00
01-52-4111	SWIM POOL FICA MATCH	5,229.00	532.92	532.92	10.19	4,696.08
01-52-4202	SWIM POOL UTILITIES	18,500.00	461.33	10,597.69	57.28	7,902.31
01-52-4203	SWIM POOL INSURANCE	2,250.00		2,177.10	96.76	72.90
01-52-4206	SWIM POOL SERVICES	2,500.00				2,500.00
01-52-4208	SWIM POOL BLDG & GROUNDS	6,440.00	75.00	683.56	10.61	5,756.44
01-52-4209	SWIM POOL EQUIP & MAINT	7,500.00				7,500.00
01-52-4230	SWIM POOL SALES TAX	3,800.00		1,051.63	27.67	2,748.37
01-52-4250	SWIM POOL SUPPLIES/MATER	16,500.00		1,053.30	6.38	15,446.70
01-52-4299	SWIM POOL MISC EXPENSES	500.00	175.00	255.00	51.00	245.00
01-52-4400	SWIM POOL CAPITAL OUTLAYS	30,000.00	8,606.58	26,724.58	89.08	3,275.42
	DIFFERENCE	170,569.00	16,816.59	53,489.39	31.36	117,079.61
	PROOF	170,569.00	16,816.59	53,489.39	31.36	117,079.61

**BUDGET REPORT**  
**CALENDAR 6/2020, FISCAL 9/2019**

**PCT OF FISCAL YTD 75.0%**

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
03-00-4101	STREET SALARIES	185,000.00	12,582.95	106,565.35	57.60	78,434.65
03-00-4102	STREET HEALTH INSURANCE	26,365.00	524.57	18,137.45	68.79	8,227.55
03-00-4103	STREET LIFE INSURANCE	800.00	86.92	724.52	90.57	75.48
03-00-4104	STREET PENSION PLAN	5,500.00	458.12	4,290.35	78.01	1,209.65
03-00-4105	STREET WORKMEN COMP	9,000.00		5,630.55	62.56	3,369.45
03-00-4111	STREET FICA MATCH	14,152.00	957.32	8,104.70	57.27	6,047.30
03-00-4202	STREET UTILITIES	8,500.00	464.23	7,373.92	86.75	1,126.08
03-00-4203	STREET INSURANCE	6,200.00		6,926.37	111.72	726.37-
03-00-4206	STREET SERVICES	6,000.00		4,654.00	77.57	1,346.00
03-00-4208	STREET BLDG & GR MAINT	500.00	259.99	262.10	52.42	237.90
03-00-4220	STREET SNOW REMOVAL OTH	5,000.00		5,413.10	108.26	413.10-
03-00-4231	STREET ROAD EQUIP PARTS	15,000.00	259.02	14,048.34	93.66	951.66
03-00-4232	STREET ROAD EQUIP LABOR	7,000.00		9,253.86	132.20	2,253.86-
03-00-4240	STREET REIM MEALS/REFUNDS	200.00	7.91	112.57	56.29	87.43
03-00-4256	STREET CHEMICAL SUPPLIES	3,500.00		426.25	12.18	3,073.75
03-00-4258	STREET SHOP SUPPLIES	2,400.00	33.72	833.50	34.73	1,566.50
03-00-4259	STREET SHOP TOOLS	1,000.00	137.34	1,265.37	126.54	265.37-
03-00-4271	STREET GASOLINE AND DIESEL	18,000.00	518.11	7,777.71	43.21	10,222.29
03-00-4272	STREET OIL/GREASE/ETC	1,500.00		314.86	20.99	1,185.14
03-00-4273	STREET TIRES & TIRE REPAIR	7,000.00		5,190.58	74.15	1,809.42
03-00-4274	STREET ASPHALTIC MATERIALS	10,000.00	262.20	614.44	6.14	9,385.56
03-00-4275	STREET GRAVEL & BORROW	6,000.00	1,530.00	12,023.16	200.39	6,023.16-
03-00-4277	STREET CONCRETE	10,000.00	2,593.00	4,499.58	45.00	5,500.42
03-00-4278	STREET CULVERTS	500.00	85.60	85.60	17.12	414.40
03-00-4279	STREET STEEL PRODUCTS	2,000.00		73.53	3.68	1,926.47
03-00-4280	STREET LUMBER	100.00		7.18	7.18	92.82
03-00-4283	STREET SIGNS	1,000.00		301.30	30.13	698.70
03-00-4284	STREET SIGN POSTS			636.32		636.32-
03-00-4285	STREET GUIDE POSTS & DELIN	200.00				200.00
03-00-4287	STREET PAVEMENT MARKING	1,500.00	1,240.58	1,252.36	83.49	247.64
03-00-4288	STREET FLARES/FLAGS/BARRI	100.00				100.00
03-00-4289	STREET SAFETY PROGRAM	500.00	61.46	1,058.58	211.72	558.58-
03-00-4290	STREET EQUIP/LAND RENTAL	6,000.00	500.00	4,500.00	75.00	1,500.00
03-00-4299	STREET MISC SUPPLIES & MAT	500.00		231.39	46.28	268.61
03-00-4300	STREET CAPITAL IMPROVE.	67,000.00		12,366.18	18.46	54,633.82
03-00-4400	STREET CAPITAL OUTLAYS	80,000.00		1,750.00	2.19	78,250.00
03-00-4700	STREET CAPITAL IMP POTENTIAL	202,229.00				202,229.00
	DIFFERENCE	710,246.00	22,563.04	246,705.07	34.74	463,540.93
	PROOF	710,246.00	22,563.04	246,705.07	34.74	463,540.93

**BUDGET REPORT**  
CALENDAR 6/2020, FISCAL 9/2019

*Paving Funds*

PCT OF FISCAL YTD 75.0%

ACCOUNT NUMBER	ACCOUNT TITLE	TOTAL BUDGET	PTD BALANCE	YTD BALANCE	PERCENT EXPENDED	UNEXPENDED
04-00-4206	STREET IMPROVEMENT SERVICES	.00	.00	.00	.00	.00
04-00-4299	STREET IMPROVEMENT MISC	.00	.00	.00	.00	.00
04-00-4300	STREET IMPROVEMENT CAP IMPROVE	.00	.00	.00	.00	.00
04-00-4400	STREET IMPROVEMENT CAP OUTLAYS	.00	.00	.00	.00	.00
04-00-4500	ST IMPROVE DEBT SERV PRINCIPAL	.00	.00	.00	.00	.00
04-00-4600	ST IMPROVE DEBT SERV INTEREST	.00	.00	.00	.00	.00
04-00-4700	ST IMPROVE DEBT OTHER	.00	.00	.00	.00	.00
04-00-4999	STREET IMPROVEMENTS TRANS OUT	.00	.00	.00	.00	.00
	DIFFERENCE	.00	.00	.00	.00	.00
	PROOF	.00	.00	.00	.00	.00

MONTHLY LAW ENFORCEMENT REPORT TO THE  
MAYOR AND CITY COUNCIL OF THE CITY OF  
AUBURN

FOR THE MONTH OF JUNE 2020

Total Number of Calls within the City of Auburn	130
Total Number of Ordinance/Animal Calls	16
Total Number of Actual Criminal Cases Reported/Initiated	8

Respectfully submitted,



Brent Lottman  
Sheriff

